SCHEMATIC DESIGN DRAWINGS

## **AUSTIN HOMES - HILLSIDE SLIDE PARK**

### SITE DEVELOPMENT PLANS

### PREPARED FOR:

### KNOXVILLE COMMUNITY DEVELOPMENT CORPORATION

BEN BENTLEY
EXECUTIVE DIRECTOR & CEO

TRACEE PROSS
CHIEF FINANCIAL OFFICER

MARISA MOAZEN
DIRECTOR OF POLICY & STRATEGIC PARTNERSIPS

MATT TILLERY
VICE PRESIDENT OF RENTAL ASSISTANCE

Sheet List Table

C0.12

C1.02

C2.01 C2.02

L1.00

L1.01

**DEMOLITION PLAN** 

SITE DETAILS

SITE DETAILS

LANDSCAPE PLAN

LANDSCAPE PLAN

OVERALL GRADING PLAN KEY

OVERALL LANDSCAPE PLAN KEY

SCHEMATIC - RESTOOM BUILDING

BRAD PETERS
VICE PRESIDENT OF REDEVELOPMENT & LEGAL SERVICES

JAMES HATFIELD
REDEVELOPMENT & REAL ESTATE DIRECTOR

## SHEET INDEX OWNER/DEVELOPER

KNOXVILLE COMMUNITY DEVELOPMENT CORPORATION
901 N BROADWAY STREET
KNOXVILLE, TN 37917
(865) 403-1100

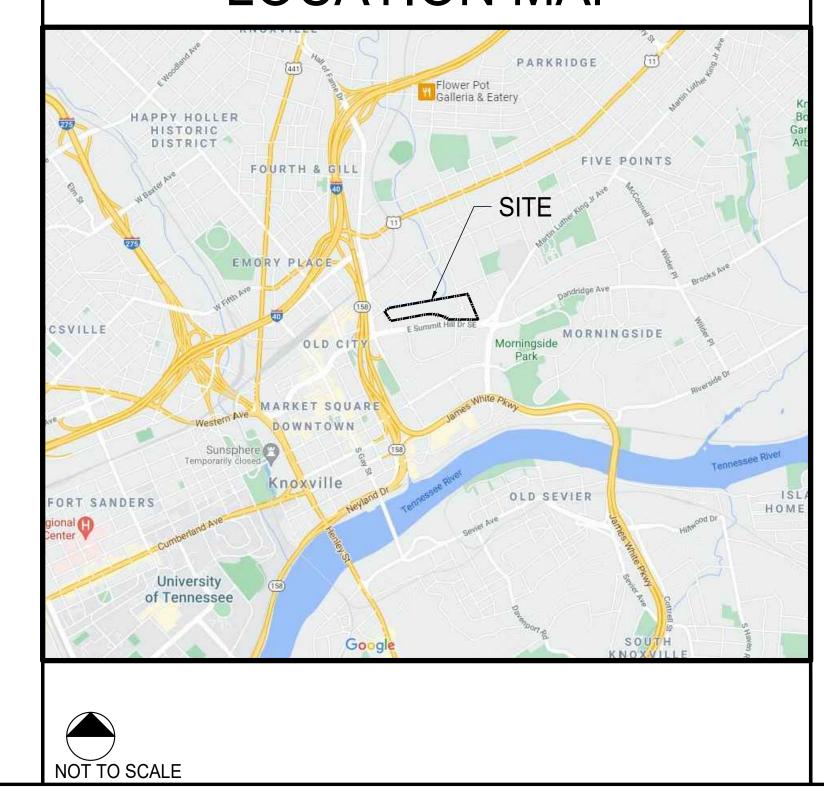
### DESIGNER

### LOSE DESIGN

LANDSCAPE ARCHITECTURE/ARCHITECTURE/CIVIL ENGINEERING/PLANNING

1314 5TH AVENUE NORTH, SUITE 200 NASHVILLE, TENNESSEE 37208 PHONE: 615-242-0040 CONTACT: DANIEL BOUTTE

### **LOCATION MAP**



## CONSULTANTS

ROLE:
NAME
STREET ALDRESS
CITY STATE 00000
(000) 000-0000

# STIN HOMES - HILLSIDE SLIDE PARK SITE DEVELOPMENT PLANS

COVER

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KNOXVILLE COMMUNITY DEVELOPMENT CORPORA

### **GENERAL NOTES**

- 1. THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, DIMENSIONS, LEVELS, PLAN ELEVATIONS, INVERTS, ETC. BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME. REMEDIAL WORK RESULTING FROM LACK OF VERIFICATION WILL BE AT CONTRACTOR'S SOLE EXPENSE.
- 2. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS/HER WORK, AND
- SHALL BEAR THE COST OF REPLACING SAME. 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION/PROJECT MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT AND
- 4. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY
- 5. THE SITE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.
- 6. UPON RECEIPT OF POINT COORDINATE DATA, THE CONTRACTOR SHALL RUN AN INDEPENDENT VERTICAL CONTROL TRAVERSE TO CHECK BENCHMARKS AND A HORIZONTAL CONTROL TRAVERSE THROUGH GIVEN POINTS TO CONFIRM GEOMETRIC DATA AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
- 7. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THE PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- 8. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- 9. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL LEGAL FEES. HE/SHE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO BUILDING SIDEWALKS, STREETS, WATER MAINS, SEWERS, BLASTING, PUBLIC STRUCTURES, ETC.
- 10. THE CONTRACTOR ACKNOWLEDGES AND AGREES THAT THE WORK IS ENTIRELY AT THE CONTRACTOR'S RISK UNTIL SITE IS ACCEPTED. AND THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR PROTECTION OF THE PROJECT AND PUBLIC SAFETY. THE CONTRACTOR WILL INDEMNIFY THE OWNER AND LOSE DESIGN FROM LIABILITY AT THE SITE THROUGHOUT THE CONSTRUCTION PROCESS.
- 11. ALL DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON SITE SURVEY PROVIDED BY OTHERS. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION/PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION
- HAS NOT BEEN GIVEN. 12. THE CONTRACTOR SHALL FURNISH, INSTALL AND MAINTAIN ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK AND THE PUBLIC, INCLUDING BARRICADES, WARNING SIGNS, LIGHTS OR OTHER DEVICES SOLELY AT THE DETERMINATION OF THE CONTRACTOR.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES. OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, WHETHER CAUSED BY THE CONTRACTOR, SUBCONTRACTORS, OR THE CARELESSNESS OF ANY OF THEIR EMPLOYEES.
- 14. ALL PAY ITEMS HAVE BEEN EXPLICITLY SET FORTH AS SUCH IN THE PROPOSAL, ALL OTHER ITEMS OF COST ARE TO BE INCLUDED IN THE PRICE OF THE ITEMS ACTUALLY BID
- 15. ALL WORK WITHIN THE RIGHTS OF WAY SHALL BE IN ACCORDANCE WITH THE GOVERNING JURISDICTION AND SPECIFICATIONS.
- 16. THE CONTRACTOR SHALL PROVIDE SUCH BRACING, SHEETING AND SHORING, BLASTING PROTECTION, WARNING LIGHTS AND BARRICADES, ETC. AS MAY BE NECESSARY FOR THE PROTECTION OF LIFE AND PROPERTY FOR EMPLOYEES AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY STATUTES AND RULES REQUIRING CERTAIN PROTECTIVE PERSONAL APPAREL SUCH AS HARD HATS, EAR PLUGS, EYE SHIELDS, PROTECTIVE SHOES, ETC. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY OR LIABILITY FOR ACTIONS TAKEN BY THE CONTRACTOR WHICH ENDANGER LIFE OR PROPERTY.
- 17. THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.
- 18. ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE LAND OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- 19. ALL SURPLUS EXCAVATION SHALL BE PLACED ON-SITE IN A LOCATION DESIGNATED BY
- 20. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO INSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DIFFERENCES. NOTIFICATION SHALL BE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
- 21. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & AND PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL.
- 22. THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY
- 23. UPON COMPLETION OF PROJECT, CONTRACTOR SHALL CLEAN THE PAVED AREAS PRIOR TO REMOVAL OF TEMPORARY SEDIMENT CONTROLS, AS DIRECTED BY THE CITY AND/OR CONSTRUCTION/PROJECT MANAGER. IF POWER WASHING IS USED, NO SEDIMENT LADEN WATER SHALL BE WASHED INTO THE STORM SYSTEM. ALL SEDIMENT LADEN MATERIAL ON PAVEMENT OR WITHIN THE STORM SYSTEM SHALL BE COLLECTED AND REMOVED
- FROM THE SITE AT CONTRACTOR'S EXPENSE. 24. CONTRACTOR SHALL AT ALL TIMES ENSURE THAT SWPPP MEASURES PROTECTING EXISTING DRAINAGE FACILITIES BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY PHASE OF THE SITE CONSTRUCTION OR LAND ALTERATION.
- 25. THE CONTRACTOR SHALL COORDINATE ALL ROAD CLOSURES, EXCAVATIONS, ETC. WITH LOCAL JURISDICTIONS. ALL TEMPORARY LANE CLOSURES, EXCAVATIONS, BORINGS, TRAFFIC CONTROL, ETC. SHALL BE DONE IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- 26. THE CONTRACTOR SHALL PERFORM ALL QUANTITY TAKEOFFS REQUIRED FOR BIDDING AND CONSTRUCTION OF THIS PROJECT. LOSE DESIGN ACCEPTS NO RESPONSIBILITY NOR LIABILITY FOR QUANTITY TAKEOFFS PERFORMED FOR THIS PROJECT.

### DEMOLITION

- 1. DEMOLITION INCLUDES THE FOLLOWING WITHIN THE PROPERTY LINES: 1.1. TRANSFER BENCHMARK CONTROL TO NEW LOCATIONS OUTSIDE THE DISTURBED
- AREA PRIOR TO COMMENCING DEMOLITION OPERATIONS (WHEN APPLICABLE). PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS
- DUE TO DEMOLITION WORK. 1.3. DEMOLITION AND REMOVAL OF SITE IMPROVEMENTS.
- 1.4. DISCONNECTING, CAPPING OR SEALING, AND ABANDONING/REMOVING SITE UTILITIES IN PLACE (WHICHEVER IS APPLICABLE).

REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY

### **DEMOLITION (CONT.)**

- 2. ALL DEMOLISHED MATERIALS (EXCLUDING FOREIGN ITEMS AS LISTED IN 'GENERAL') BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED BY THE OWNER'S REP. DISPOSE OF OFF THE OWNER'S PROPERTY AT NO ADDITIONAL COST.
- 3. ALL PAVEMENT, BASE COURSES, SIDEWALKS, CURBS, ETC., THAT ARE REMOVED SHALL BE REMOVED TO FULL DEPTH. ALL PAVEMENT, SIDEWALK, AND CURB SHALL BE SAW CUT IN ORDER TO OBTAIN NEAT LINES AND SMOOTH TRANSITIONS TO NEW SURFACES.
- 4. ALL ITEMS OF CONSTRUCTION REMAINING AND NOT SPECIFICALLY MENTIONED THAT INTERFERES WITH THE NEW CONSTRUCTION SHALL BE REMOVED AS DIRECTED BY THE OWNERS REPRESENTATIVE AT NO ADDITIONAL COST.
- 5. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, TREES, UTILITIES, AND
- STRUCTURES THAT ARE TO REMAIN. CONTRACTOR-CAUSED DAMAGE WILL BE REPAIRED TO LOCAL STANDARDS AT NO ADDITIONAL COST TO THE OWNER. 6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS
- PRIOR TO BEGINNING WORK. 7. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR DEMOLITION PURPOSES AND ONLY WITH PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- 8. OBTAIN APPROVED BORROW SOIL MATERIALS OFF-SITE.
- 9. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE WILL NOT BE PERMITTED. 10. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
- 11. REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN.
- 12. REMOVE, REINSTALL, AND RELOCATE: REMOVE ITEMS INDICATED; CLEAN, SERVICE, AND OTHERWISE PREPARE THEM FOR REUSE; STORE AND PROTECT AGAINST DAMAGE. REINSTALL ITEMS IN LOCATIONS INDICATED.
- 13. EXISTING TO REMAIN: PROTECT ITEMS INDICATED TO REMAIN AGAINST DAMAGE AND SOILING THROUGHOUT CONSTRUCTION. WHEN PERMITTED BY THE ENGINEER, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION THROUGHOUT CONSTRUCTION AND THEN CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.
- 14. REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- 15. CONTRACTOR SHALL SCHEDULE DEMOLITION ACTIVITIES WITH THE
- CONSTRUCTION/PROJECT MANAGER INCLUDING THE FOLLOWING: 15.1. DETAILED SEQUENCE OF DEMOLITION AND REMOVAL WORK, INCLUSIVE OF STARTING

FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY ENGINEER AND AUTHORITIES

- AND ENDING DATES FOR EACH ACTIVITY. DATES FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES.
- IDENTIFY AND ACCURATELY LOCATE UTILITIES AND OTHER SUBSURFACE STRUCTURAL, ELECTRICAL, OR MECHANICAL CONDITIONS.
- 16. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN SERVICE AND PROTECT THEM AGAINST DAMAGE THROUGHOUT CONSTRUCTION OPERATIONS. 16.1. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR OPERATING
- HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO OWNER AND TO GOVERNING AUTHORITIES. 17. UTILITY REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF
- INDICATED UTILITY SERVICES SERVING THE SITE. 17.1. ARRANGE TO SHUT OFF AND CAP UTILITIES WITH UTILITY COMPANIES AND FOLLOW
- THEIR RESPECTIVE UTILITY KILL AND CAP POLICIES. 17.2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE TO BE
- VERIFIED BY CONTRACTOR. LOSE DESIGN DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES INDICATED ON THE CONSTRUCTION DOCUMENTS. VERIFY LOCATION OF EXISTING UTILITIES AND EXERCISE EVERY PRECAUTION WHEN WORKING ON OR NEAR THESE AREAS TO AVOID DAMAGE TO THESE EXISTING FACILITIES. UTILITY LINES MAY BE ENCOUNTERED IN EXCAVATION THAT WERE NOT KNOWN OR SHOWN TO EXIST. SO CAUTION SHALL BE TAKEN IN ALL EXCAVATIONS, ACTIVE OR INACTIVE UTILITIES ENCOUNTERED BY THE CONTRACTOR SHALL BE HANDLED IN ACCORDANCE WITH THE REQUIREMENTS OR THE UTILITY COMPANIES.
- 18. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE
- AROUND DEMOLITION AREA. 18.1. ERECT TEMPORARY PROTECTION, BARRICADES AS PER LOCAL GOVERNING
- 18.2. PROTECT EXISTING SITE IMPROVEMENTS AND APPURTENANCES TO REMAIN. 19. EXPLOSIVES: USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- 20. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON
- 21. CLEAN ADJACENT BUILDINGS AND IMPROVEMENT OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE START OF DEMOLITION.
- 22. DAMAGES: PROMPTLY REPAIR DAMAGES TO ADJACENT FACILITIES CAUSED BY DEMOLITION OPERATIONS AT THE CONTRACTORS COST.
- 23. GENERAL: PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE
- 24. BURNING: DO NOT BURN DEMOLISHED MATERIALS.
- 25. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH EXISTING FACILITIES. 25.1. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR
- USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- PROVIDE TEMPORARY FENCES, BARRICADES, COVERINGS OR OTHER PROTECTIONS TO PRESERVE EXISTING ITEMS INDICATED TO REMAIN AND TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. APPLY PROTECTIONS TO ADJACENT PROPERTIES AS REQUIRED.

### **CLEARING & GRUBBING**

AUTHORITIES.

ADJACENT SURFACES AND AREAS.

- 1. DO NOT EXCEED CLEARING AND GRUBBING LIMITS OF CONSTRUCTION LINES INDICATED
- ON THE PLANS. 2. ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION SHALL NOT BE CROSSED BY HEAVY
- EQUIPMENT OR USED FOR STORING HEAVY EQUIPMENT OR MATERIALS.
- NO EQUIPMENT SHALL BE STORED UNDER THE DRIP LINE OF TREES TO REMAIN.
- 4. DO NOT FALL ANY TREES OR PUSH PILES OF DEBRIS AGAINST TREES TO REMAIN. 5. REMOVE ALL STUMPS, ROCKS, ASPHALT & CONCRETE DEBRIS, ETC. WITHIN CLEARING LIMITS AND DISPOSE OFF SITE IN ACCORDANCE WITH LOCAL, STATE, & FEDERAL REGULATIONS.
- 6. CONTACT ALL UTILITY AUTHORITIES WHO HAVE LINES WITHIN THE CLEARING AND
- GRUBBING LIMITS BEFORE STARTING WORK 7. ALL EROSION CONTROL SEDIMENT BARRIERS, SILT FENCES, AND TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO STARTING CLEARING AND GRUBBING
- 8. CONTRACTOR TO STAKE TRAIL CENTERLINES (WHEN APPROPRIATE) & LIMITS OF CLEARING FOR REVIEW BY LOSE DESIGN PRIOR TO BEGINNING CLEARING OPERATIONS; TREES WITHIN GRADING LIMITS TO BE SAVED WILL BE IDENTIFIED BY THE OWNER'S REPRESENTATIVE. FIELD CHANGES TO GRADING PLANS SHALL BE MADE FOR SMOOTH TRANSITION OF GRADES AROUND ALL TREES.
- 9. SEE SPECIFICATIONS FOR TREE CLEARING REQUIREMENTS AND PENALTIES FOR
- DAMAGES TO TREES DESIGNATED TO REMAIN. 10. ALL CLEARING SHALL BE LIMITED TO AREAS TO BE GRADED WITHIN 14 CALENDAR DAYS PER STATE PERMITS.

### **EXISTING UTILITIES**

- I. UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LOSE DESIGN, OR THEIR REPRESENTATIVES. BEFORE YOU DIG CALL 811 TO HAVE EXISTING UTILITIES
- 2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE
- AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN. 3. LOSE DESIGN ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE BASE SURVEY INFORMATION PROVIDED BY OTHERS.

### **DEVELOPMENT**

- 1. NOTIFY OWNER AND LOSE DESIGN AT 50, 95, AND 100 PERCENT COMPLETION OF EVERY PHASE OF CONSTRUCTION
- 2. ALL BUFFERS AND TREE SAVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING
- AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE. 3. ALL CONSTRUCTION TO COMPLY WITH LOCAL/COUNTY ZONING AND CODES STANDARDS AND STATE OF TENNESSEE STORMWATER REGULATIONS.

### GRADING

- TOPSOIL SHALL BE STORED ON SITE IN LOCATIONS APPROVED BY THE OWNERS REPRESENTATIVE AND OUTSIDE AREAS PRONE TO FLOODING. DRAINAGE SHALL ROUTE AROUND THESE TOPSOIL STOCKPILES FOR THE DURATION OF THE GRADING OPERATIONS. EROSION CONTROL MEASURES SHALL PREVENT LOSS OF TOPSOIL MATERIAL.
- UNSUITABLE SOILS SHALL BE UNIFORMLY SPREAD ACROSS NON-STRUCTURAL FILL AREAS, COVERED WITH TOPSOIL, AND VEGETATED PER DRAWINGS.
- 3. FILL AREAS SHALL BE PROOF-ROLLED WITH RUBBER-TIRED EQUIPMENT WITH A MINIMUM WEIGHT OF FIFTEEN TONS PRIOR TO BEGINNING FILL OPERATION. AREAS WHICH ARE SOFT OR UNSTABLE SHALL BE UNDERCUT UNTIL STABLE SOILS ARE FOUND. RECOMPACTION OF THESE SOILS TO 98 PERCENT MAXIMUM DRY DENSITY (AS PER ASTM D698 STANDARD PROCTOR) WILL BE ALLOWED, UNDER THE DIRECTION OF A QUALIFIED
- SOILS ENGINEER. 4. CUT AREA SHALL BE PROOF-ROLLED AFTER FINAL SUBGRADE IS ACHIEVED IN THE SAME MANNER AS FILLED AREAS. SOFT OR UNSTABLE SOILS SHALL BE SCARIFIED TO A DEPTH OF 12" AND RECOMPACTED TO 98 PERCENT MAXIMUM DRY DENSITY AS PER ASTM D698 (STANDARD PROCTOR).
- CONFIRMATION OF ALL COMPACTION REQUIREMENTS SHALL BE CONFIRMED BY A QUALIFIED SOILS ENGINEER. SEE SPECIFICATION FOR SOIL COMPACTION RATES.
- 6. ALL FILL AREAS SHALL BE RAISED IN LIFTS NOT EXCEEDING 6 INCHES. 7. ALL AREAS WILL BE GRADED TO PROVIDE PROPER DRAINAGE AND PREVENT STANDING WATER
- 8. ELEVATIONS SHOWN ON THE PLANS IS THE FINISH GRADE ELEVATION. GRADING SHALL BE SEQUENCED SO THAT BASE STONE IS PLACED WITHIN 14 CALENDAR DAYS OF ACHIEVING OPTIMUM SUBGRADE COMPACTION.
- 10. ALL GRADING OPERATIONS SHALL BE COMPLETED IN COMPLIANCE OF CITY, COUNTY, AND STATE LAND DISTURBANCE PERMITS AS REQUIRED.

### LAYOUT

- ALL LAYOUT MEASUREMENTS ARE TO CENTERLINE UNLESS OTHERWISE NOTED. 2. COORDINATE POINTS SHOWN ARE TAKEN FROM BASE INFORMATION PROVIDED BY OTHERS. CONTRACTOR SHALL CROSS CHECK BETWEEN COORDINATE LAYOUT AND PLAN
- DIMENSIONS PRIOR TO COMMENCING WORK. 3. LOSE DESIGN, ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE BASE INFORMATION AS PROVIDED. CONTRACTOR IS TO VERIFY ALL BASE INFORMATION AS NECESSARY AND TO ADVISE THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY
- LAYOUT WORK 4. ALL WORK SHALL BE COMPLETED TO THE LEVEL INDICATED BY THE SCOPE OF WORK
- LISTED IN THE BID DOCUMENTS. 5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ALL DAMAGED AND/OR DISTURBED MONUMENTS, STAKES, ETC.
- 6. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR SHALL USE DIMENSION,
- COORDINATES, AND OTHER INFORMATION PROVIDED ON LAYOUT PLANS. CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING REQUIRED ON THE PROJECT. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST BETWEEN
- EXISTING FACILITIES AND PROPOSED FACILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY LOSE DESIGN WITHIN 24 HOURS OF ANY LAYOUT DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. ALL ADDITIONAL COSTS, INCLUDING BUT NOT LIMITED TO REMEDIAL CONSTRUCTION, ADDITIONAL SITE VISITS, OR
- THIS PROCEDURE WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. 9. CONTRACTOR SHALL PROVIDE ADEQUATE LAYOUT INFORMATION TO DEMONSTRATE, TO THE MAXIMUM EXTENT PRACTICAL, THAT NO CONFLICTS BETWEEN VARIOUS TRADES

ENGINEERING SERVICES AND FEES, ETC., INCURRED DUE TO THE FAILURE TO FOLLOW

10. DRAINAGE STRUCTURES ARE SHOWN TO INDICATE CASTING TYPE AND LOCATION CONTRACTOR SHALL STAKE PROPOSED PAVING, STRUCTURES, CURBS, ETC. TO ENSURE DRAINAGE STRUCTURES ARE PLACED TO AVOID CONFLICTS. DRAINAGE STRUCTURES ARE NOT DRAWN TO SCALE.

### **ADA REQUIREMENTS**

- 1. ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT ("ADA") AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36CFR PARTS 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES; ARCHITECTURAL BARRIERS
- ACT (ABA) ACCESSIBILITY GUIDELINES 2. CONTRACTOR TO COORDINATE ALL INSPECTIONS AS REQUIRED BY THE LOCAL ADA
- COMPLIANCE OFFICE. 3. AT ALL INTERSECTION OF TRAILS, SIDEWALKS, PLAZAS, AND OTHER INSTANCES WHERE 90 DEGREE TURNS CAN TAKE PLACE, THE MAX. SLOPE IN ALL DIRECTIONS IS 2 PERCENT.

### TREE PROTECTION / REMOVAL

- 1. EXISTING TREES ON-SITE TO BE REMOVED HAVE BEEN MARKED ON THE SITE PLANS WITH AN "X". ONLY THOSE MARKED TREES SHALL BE REMOVED. CONTRACTOR SHALL PROCEED WITH THE FOLLOWING FOR TREES TO BE REMOVED ONLY:
- 1.1. REMOVE THE TOP OF ALL TREES INCLUDING BRANCHES AND TRUNK IN AN ORGANIZED AND SAFE MATTER BEING CAREFUL NOT TO DAMAGE ANY TREES TO
- REMAIN OR OTHER SITE FEATURES. 1.2. ALL STUMPS OF TREES BEING REMOVED SHALL BE COMPLETELY EXCAVATED AND REMOVED. ALL EXCAVATED HOLES, FROM REMOVAL OF TREE ROOTS, REMAINING ON-SITE SHALL BE REMEDIATED WITH ENGINEERED FILL AND COMPACTED TO MEET
- SPECIFICATIONS. 1.3. ALL TREE WASTE, INCLUDING LIMBS, BRANCHES, TRUNKS, ROOTS OR OTHER, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF IN A LEGAL MANNER.
- 2. ALL TREES THAT HAVE NOT BEEN MARKED ON THESE PLANS WITH AN "X" SHALL BE PROTECTED ON SITE DURING CONSTRUCTION FROM ANY AND ALL DAMAGE. CONTRACTOR SHALL PROCEED WITH THE FOLLOW FOR TREES TO BE PROTECTED ONLY: 2.1. ALL PROTECTED TREES THAT ARE LOCATED NEAR OR WITHIN THE LIMITS OF
- CONSTRUCTION SHALL BE PROTECTED BY TREE PROTECTION FENCING PER DETAILS. 2.2. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY PROTECTED TREES THAT ARE DAMAGED DURING CONSTRUCTION.
- 2.3. IF PROTECTED TREES ARE LOCATED WITHIN THE LIMITS OF CONSTRUCTION, THEY MUST BE PROTECTED DURING SITE CONSTRUCTION.

2.4. IF GRADING, EXCAVATION OR PAVING IS SHOWN TO OCCUR NEAR THE PROTECTED

- TREE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING WITH A LOCAL TREE SURGEON FOR RECOMMENDATIONS ON TREE PROTECTION. 2.5. IF DISCREPANCIES OCCUR AND IT IS ANTICIPATED THAT THE PROTECTED TREES WILL BE DAMAGED DUE TO PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY
- THE DESIGNER IMMEDIATELY OF ANY CONFLICT. THE CONTRACTOR SHALL ALSO SUBMIT RECOMMENDATIONS TO THE DESIGNER
- FROM THE TREE SURGEON FOR PROTECTION MEASURES. CONTRACTOR SHALL BE RESPONSIBLE FOR IN-FIELD COORDINATION WITH THE DESIGNER TO RESOLVE ANY CONFLICTS THAT MAY ARISE DUE TO PROTECTED

2.8. IF THE CONTRACTOR LOCATES TREES IN THE FIELD THAT ARE NOT SHOWN ON THESE

PLANS OR THAT ARE MISLOCATED. THE CONTRACTOR SHALL NOTIFY THE DESIGNER

FOR REVIEW OF THE TREE AND ITS LOCATION. 2.9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUB-CONSULTANTS AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE THE PROTECTION OF THE TREES TO REMAIN

### TREE PROTECTION / REMOVAL (CONT.

- 2.10. IN THE EVENT OF UTILITY LINE ADJUSTMENTS, ADDITIONS OR RELOCATIONS, THE CONTRACTOR SHALL WORK WITH THE UTILITY PROVIDER AND INSTALLER TO ROUTE THE UTILITY LINES OUTSIDE OF THE TREE PROTECTION ZONE. IF THIS IS NOT POSSIBLE, RECOMMENDATIONS MUST BE OBTAINED FROM A LOCAL TREE SURGEON FOR REMEDIATION OPTIONS.
- 2.11. CONTRACTOR MUST SUBMIT ALL REPORTS OR RECOMMENDATIONS FOR TREE PRUNING OR ALTERING TO THE LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO RENDERING SERVICES.

### **ABBREVIATIONS**

- BOTTOM OF WALL

ASPH - ASPHALT

CL - CENTERLINE

**CONT - CONTINUOUS** 

CY - CUBIC YARD

DIA - DIAMETER

ELEC - ELECTRIC

EX - EXISTING

FL - FLOW LINE

INCLUDE OTHERS.

GALV - GALVANIZED

FT - FEET

**ELEV - ELEVATION** 

FH - FIRE HYDRANT

DR - DRIVE

CO - COMPANY

CJ - CONTROL JOINT

EJ - EXPANSION JOINT

@ - AT

BW

MPH - MILES PER HOUR NIC - NOT IN CONTRACT BOC - BOTTOM OF CURB - NUMBER O.C. - ON CENTER BFP - BACKFLOW PREVENTER BS - BOTTOM OF STEP - OUTSIDE DIAMETER OD - PERFORATED DRAIN - PROPERTY LINE POB - POINT OF BEGINNING PP - POWER POLE - RADIUS ROW - RIGHT OF WAY SERV - SERVICE SCH - SCHEDULE SF - SQUARE FEET S.F. - SILT FENCE

- SQUARE SQ - SQARE YARD SY SIG - SIGNAL SPEC - SPECIFICATION(S) STA - STATION - STREET ST

- HIGH POINT - TELEPHONE HT - HEIGHT TC - TOP OF CASTING HW - HEADWALL TOC - TOP OF CURB HYD - HYDRANT - TOP OF FOOTING TF ID - INSIDE DIAMETER - TOP OF PAVEMENT JUNC - JUNCTION TS - TOP OF STEP LOC - LIMITS OF CLEARANCE TW - TOP OF WALL L.O.D. - LIMITS OF DISTURBANCE TYP. - TYPICAL

LF - LINEAR FEET **VERT - VERTICAL** MAX - MAXIMUM W - WATER ME - MATCH EXISTING WS - WATER SERVICE MIN - MINIMUM WV - WATER VALVE MH - MANHOLE WWF - WELDED WIRE FABRIC

EVCE - ENDING OF VERTICAL CURVE ELEVATION PVI - POINT OF VERTICAL INTERSECTION NOTE: THESE ABBREVIATIONS ARE GENERAL; INDIVIDUAL SHEETS MAY

BVCS - BEGINNING OF VERTICAL CURVE STATION

EVCS - ENDING OF VERTICAL CURVE STATION

BVCE - BEGINNING OF VERTICAL CURVE ELEVATION

### "C" SHEETS LEGEND

— OE — OE — OVERHEAD ELECTRIC — UE —— UE — UNDERGROUND ELECTRIC — G —— G —— GAS — SW — STORM SEWER — SS — SANITARY SEWER BENCHMARK

FIRE HYDRANT

# $\triangleleft$ S

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SUB	MITTALS	/ REVISIONS
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SHF	ET TITLE	

**GENERAL NOTES** 

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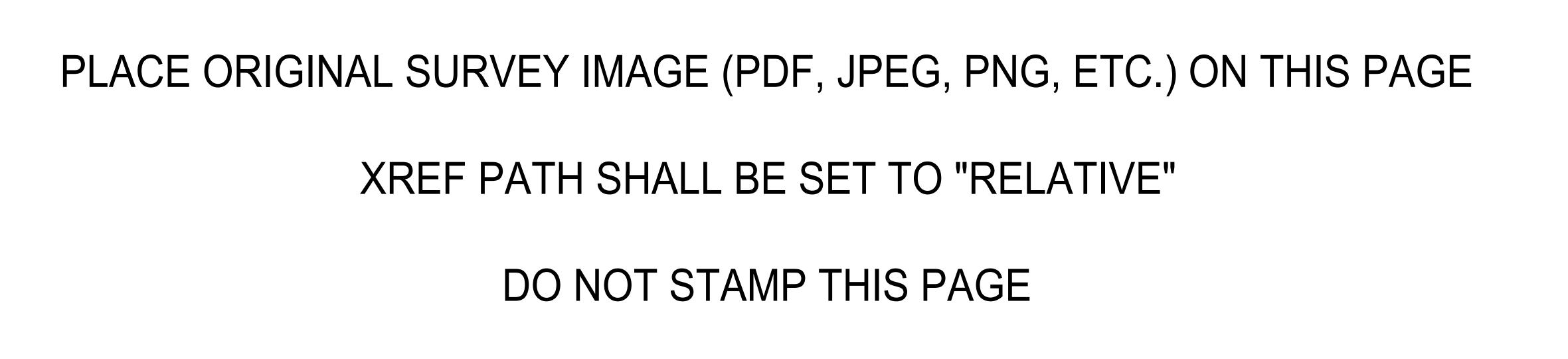
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(now what's **below**.

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SHEET NO. C0.01

XX = XXX





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# NOT FOR CONSTRUCTION

AUSTIN HOMES - HILLSIDE SLIDE SITE DEVELOPMENT PLANS
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SHEET TITLE

SCALE: 1" = XXX '

EXISTING CONDITIONS

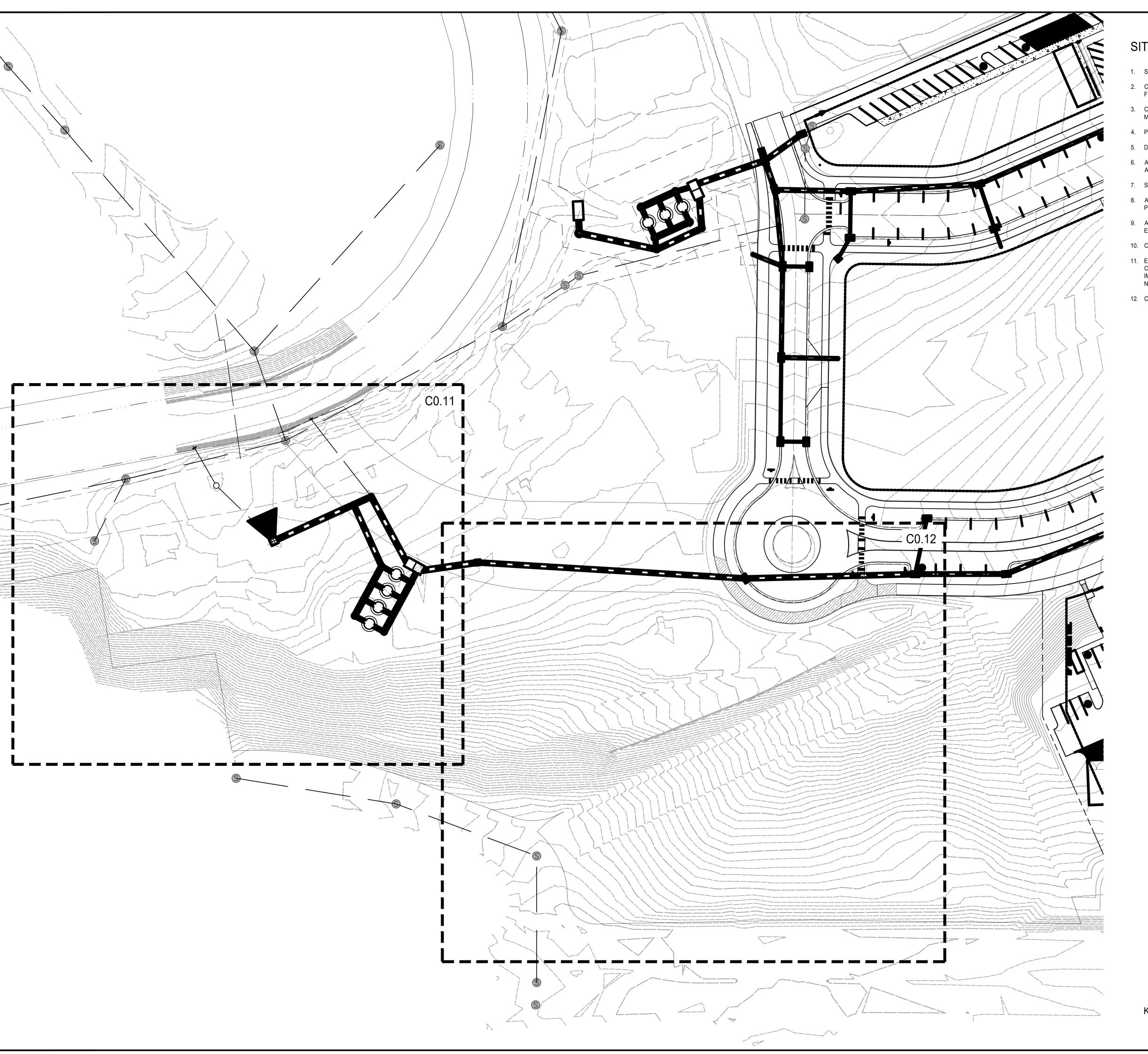
PROJECT NO. 20138-1 11/09/2021

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SHEET NO.

C0.02



### SITE DEMO NOTES

- 1. SEE SHEET C0.01 FOR ADDITIONAL DEMOLITION NOTES.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS IMMEDIATELY UPON DISCOVERY.
- 3. CONTRACTOR TO COORDINATE WITH OWNER FOR STORAGE LOCATIONS FOR CONSTRUCTION MATERIALS TO BE SALVAGED.
- 4. PRIOR TO BEGINNING DEMOLITION, ENSURE EROSION AND INLET PROTECTION ARE IN PLACE.
- 5. DISPOSE OF DEMOLISHED MATERIALS LEGALLY OFF SITE.
- 6. ANY DAMAGES TO EXISTING ITEMS TO REMAIN SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 7. SITE BOUNDARY SHALL BE FENCED WITH STANDARD STAKED ORANGE CONSTRUCTION FENCING.
- ALL LIGHTING AND LIGHTING EQUIPMENT TO REMAIN SHALL BE PROTECTED IN PLACE WITH TREE PROTECTION FENCING PRIOR TO DEMOLITION.
- 9. A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THIS PROJECT BY NOVA ENGINEERING AND ENVIRONMENTAL, LLC (NOVA), DATED SEPTEMBER 18, 2020.
- 10. CONTRACTOR TO BACKFILL AND COMPACT ANY HOLES/VOIDS CAUSED BY DEMO WORK.
- 11. EXISTING UTILITIES MAY BE PRESENT THAT WERE NOT IDENTIFIED ON THE SURVEY. IF THE CONTRACTOR ENCOUNTERS ANY SUCH UTILITY, CONTRACTOR TO NOTIFY OWNER AND DESIGNER IMMEDIATELY. ANY UTILITIES IDENTIFIED TO BE CUT OFF SHALL BE REMOVED THE THE EXTENT NECESSARY FOR PROPOSED WORK, THEM CAPPED AND SEALED IN PLACE.
- 12. CONTRACTOR TO REMOVE ALL EXISTING TREES.



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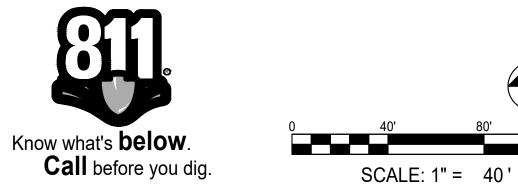
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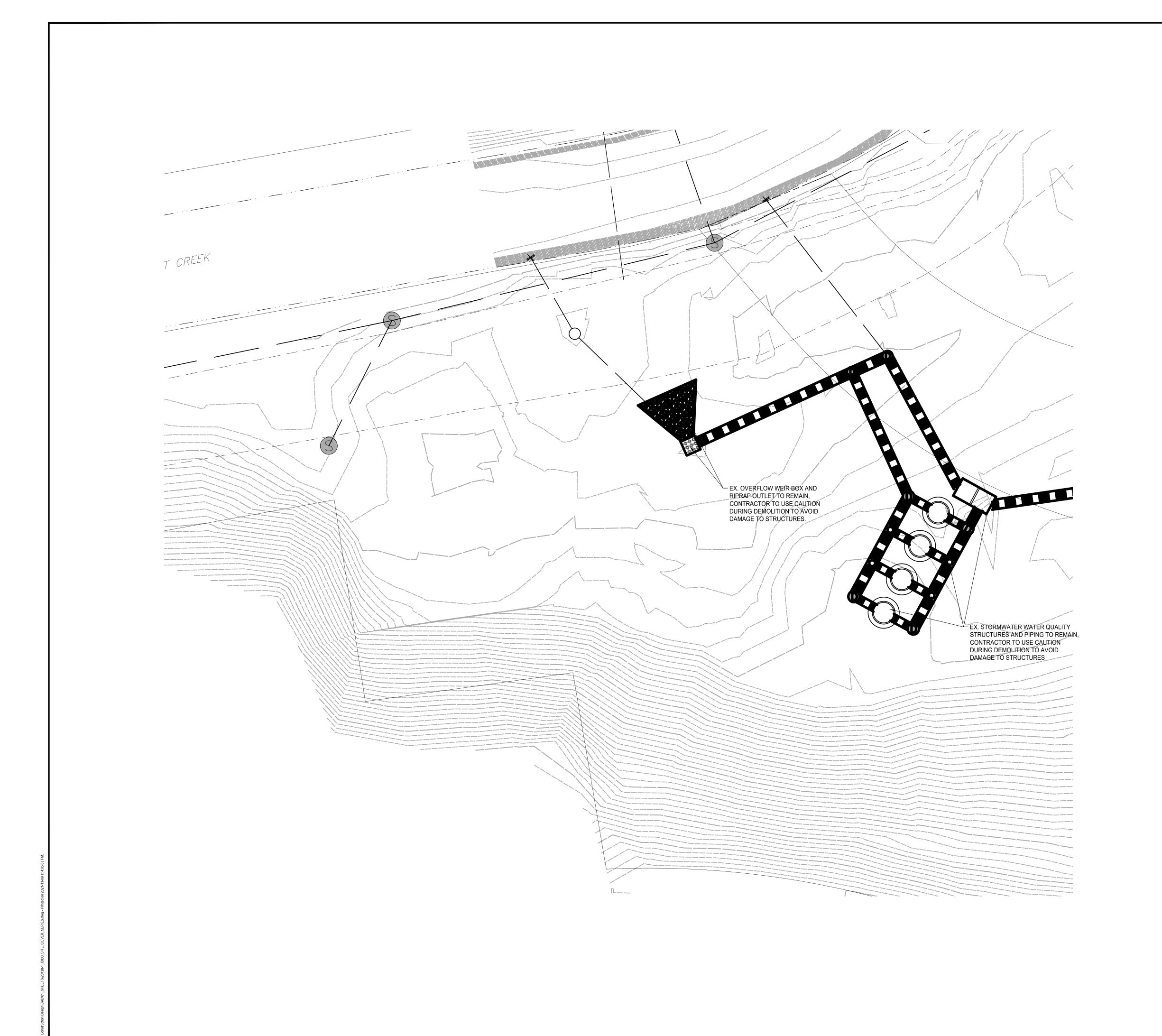
SUBMITTALS / REVISIONS NO. DATE DESCRIPTION

OVERALL DEMOLITION PLAN KEY

DATE 11/09/2021 CHECKED BY DB

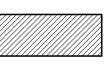
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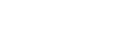
STRUCTURE REMOVAL (BUILDINGS, RETAINING WALLS, ETC.)



EXISTING ASPHALT PAVEMENT REMOVAL



EXISTING CONCRETE PAVEMENT REMOVAL



LIMITS OF DISTURBANCE

SAW CUT LINE



### **DEMOLITION REFERENCES:**

- REMOVE EXISTING ASPHALT PAVEMENT REMOVE EXISTING PAVEMENT MARKING
- REMOVE EXISTING CONCRETE PAD AND BASE
- -(4) REMOVE EXISTING BUILDINGS, INCLUDING ALL UTILITY CONNECTIONS,
  - PAVEMENT, SITE FURNISHINGS, ETC.
  - SEE BUILDING DEMOLITION NOTE FOR ADDITIONAL INFORMATION.



HOMES - HILLSID SITE DEVELOPMENT

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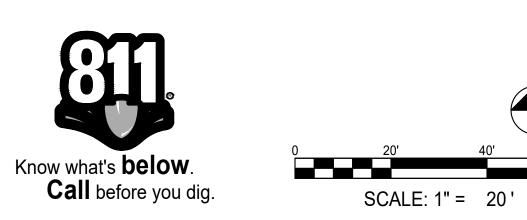
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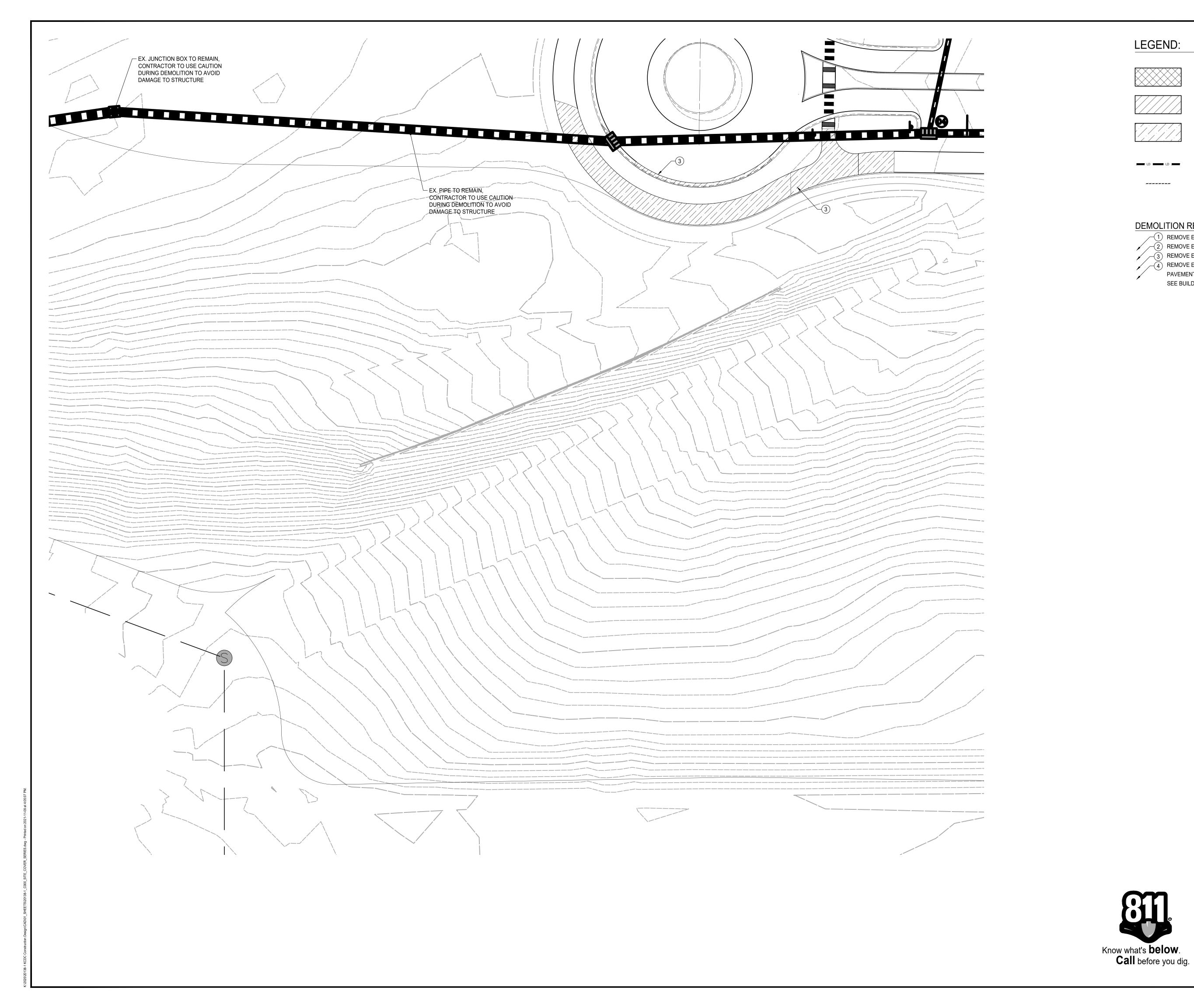
PROJECT NO. DATE 20138-1 11/09/2021

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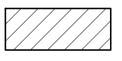
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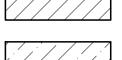


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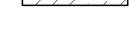
STRUCTURE REMOVAL (BUILDINGS, RETAINING WALLS, ETC.)



EXISTING ASPHALT PAVEMENT REMOVAL



EXISTING CONCRETE PAVEMENT REMOVAL



LIMITS OF DISTURBANCE

SAW CUT LINE



### **DEMOLITION REFERENCES:**

- (1) REMOVE EXISTING ASPHALT PAVEMENT
- (2) REMOVE EXISTING PAVEMENT MARKING REMOVE EXISTING CONCRETE PAD AND BASE
- REMOVE EXISTING BUILDINGS, INCLUDING ALL UTILITY CONNECTIONS,
- PAVEMENT, SITE FURNISHINGS, ETC.
- SEE BUILDING DEMOLITION NOTE FOR ADDITIONAL INFORMATION.

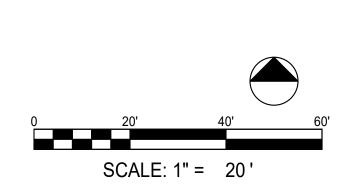


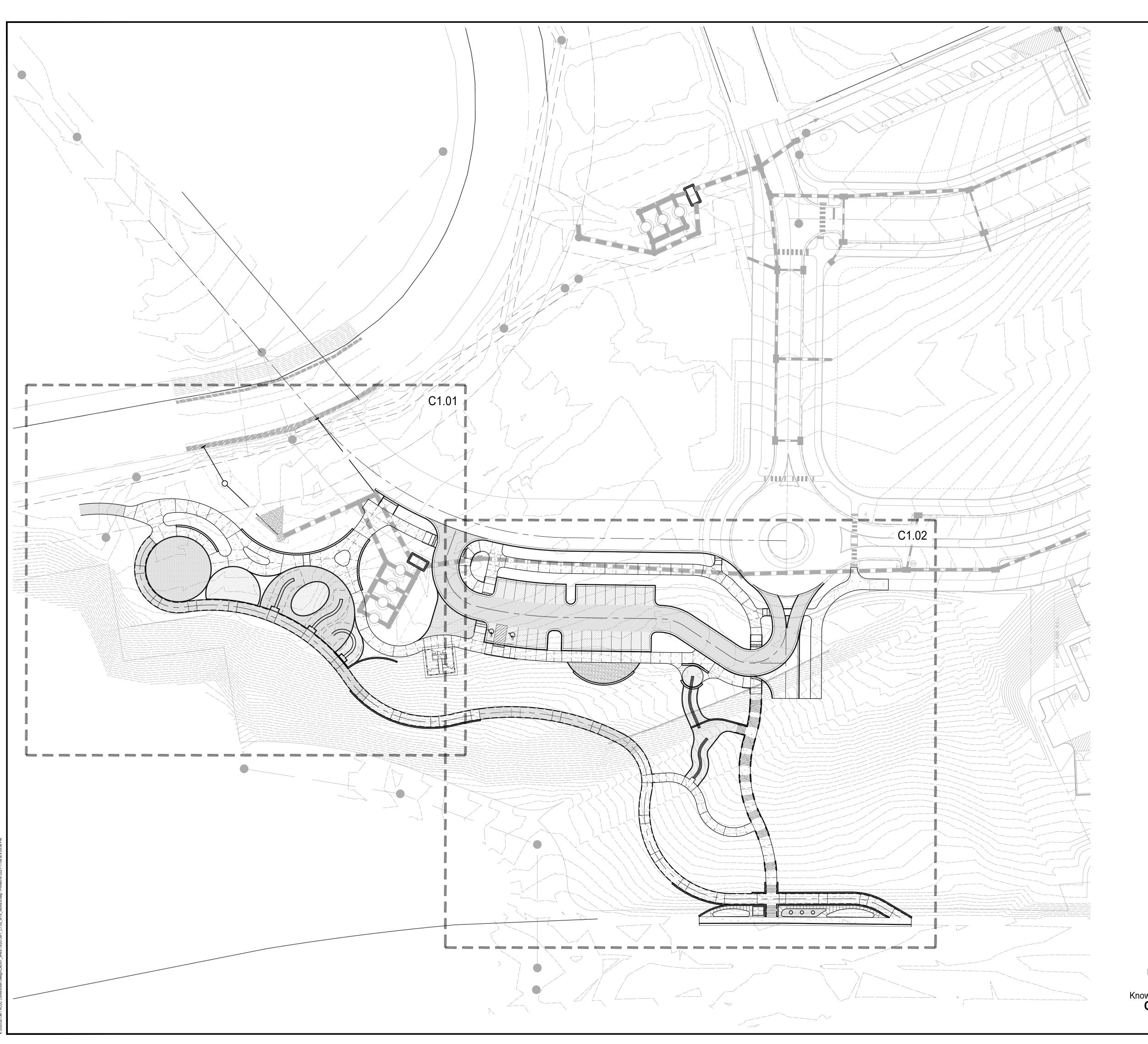
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**DEMOLITION PLAN** 

PROJECT NO. 20138-1 DRAWN BY NA DATE 11/09/2021 CHECKED BY DB

SHEET NO. C0.12





### LAYOUT NOTES:

- SEE SHEET 'C0.01 FOR GENERAL NOTES. 2. SEE ARCHITECTURAL SHEETS FOR BUILDING.
- 3. INSTALL JOINTS WHERE SHOWN TO ALIGN TO WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALL, CURBS, ETC.). ALL JOINTS TO BE STRAIGHT AND TRUE.
- 4. LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT
- 5. ALL CURBS ARE DIMENSIONED TO THE FACE OF CURB.
- 6. CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES ARE NOT SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING.
- 7. ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). LATEST EDITION.

  8. ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC, UNLESS OTHERWISE
- 9. ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH TDOT'S STANDARDS FOR ROADWAY AND BRIDGE CONSTRUCTION, LATEST
- 10. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.



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HOMES - HILLSID SITE DEVELOPMENT

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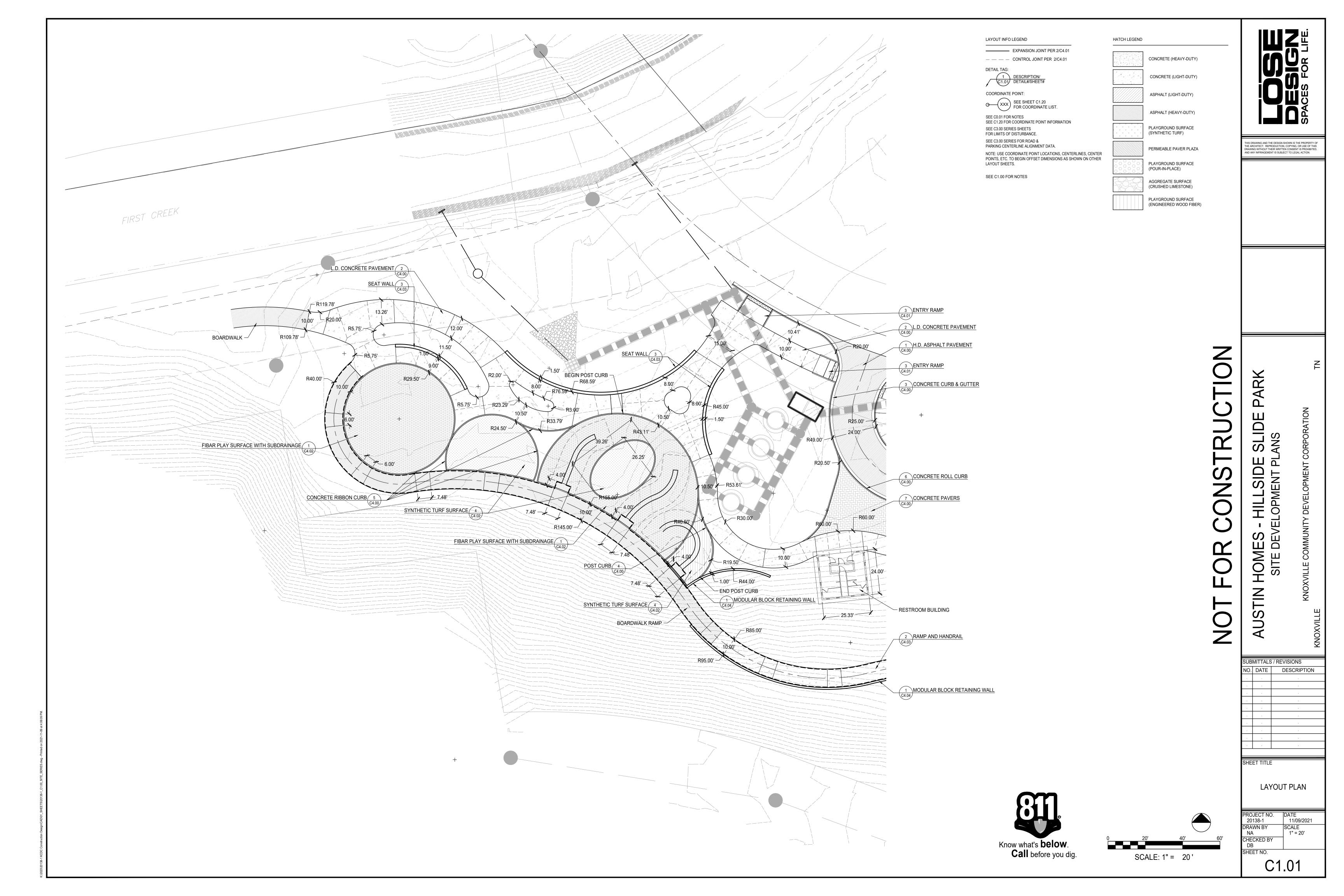
OVERALL LAYOUT PLAN KEY

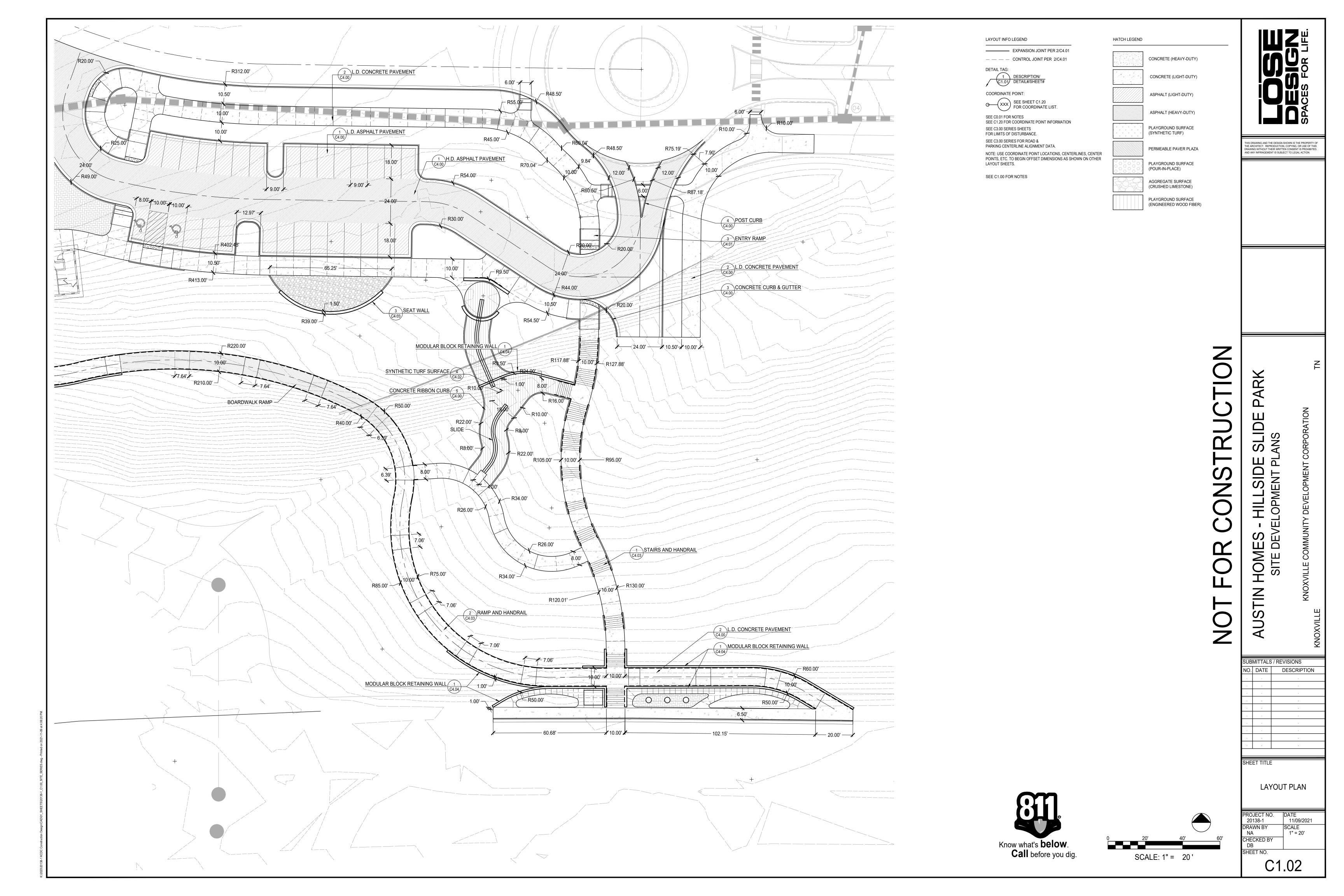
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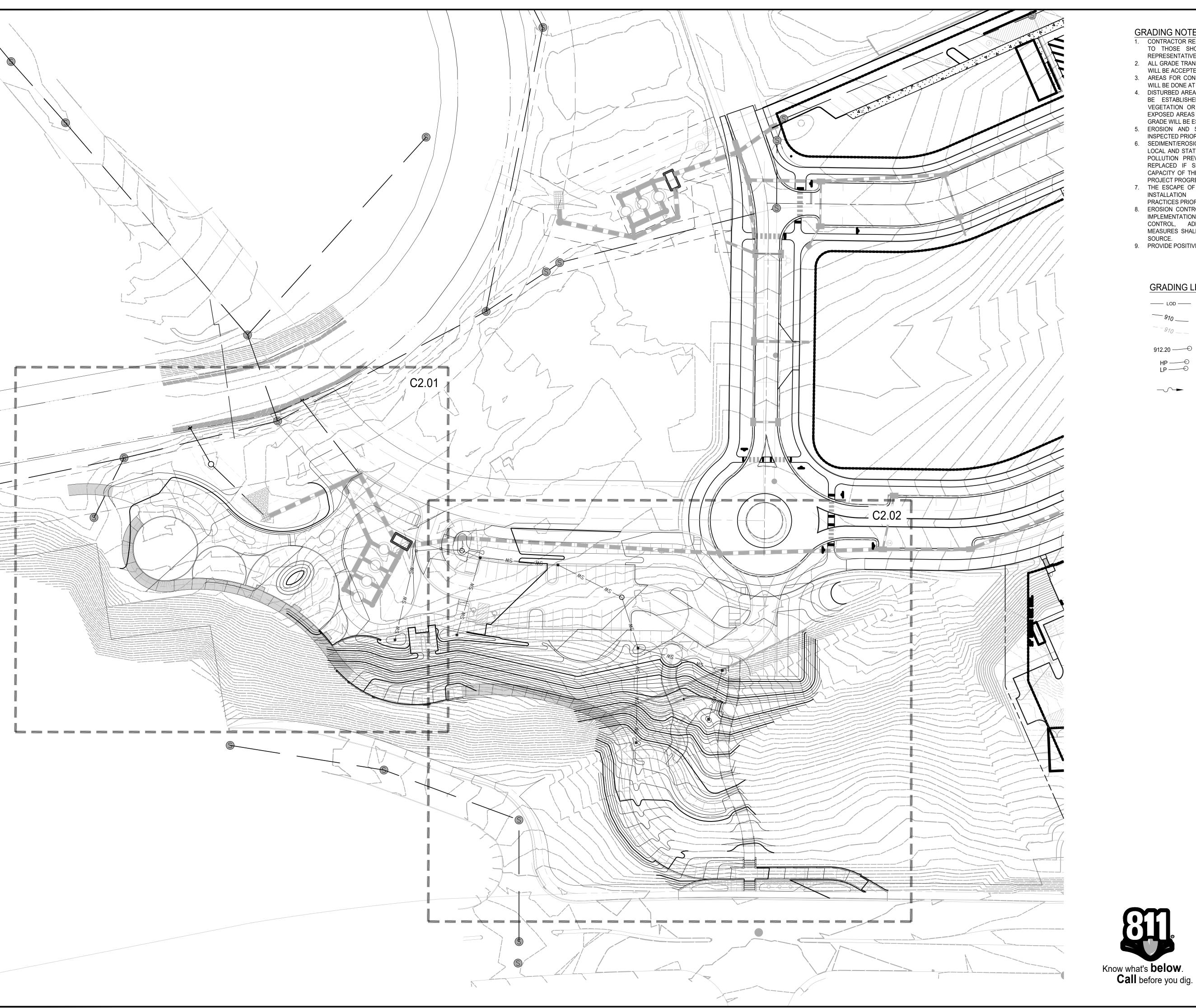
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Know what's **below**. **Call** before you dig. SCALE: 1" = 40'







### **GRADING NOTES:**

- 1. CONTRACTOR RESPONSIBLE FOR VERIFYING EXISTING ELEVATIONS COMPARED TO THOSE SHOWN ON PLAN PRIOR TO GRADING. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES ARE FOUND.
- 2. ALL GRADE TRANSITIONS TO BE SMOOTH AND EVEN. NO ABRUPT TRANSITIONS WILL BE ACCEPTED.
- 3. AREAS FOR CONSTRUCTION THAT REQUIRE DE-WATERING FOR EXCAVATION
- WILL BE DONE AT NO ADDITIONAL COST TO THE OWNER. 4. DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION. MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- 5. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE.
- 6. SEDIMENT/EROSION CONTROL DEVICES MUST BE INSPECTED ACCORDING TO LOCAL AND STATE REQUIREMENTS AND AS STIPULATED IN THE STORMWATER POLLUTION PREVENTION PLAN. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MAY BE NECESSARY AS THE
- PROJECT PROGRESSES AND NEW CHANNELS HAVE DEVELOPED. 7. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND

PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.

- 8. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 9. PROVIDE POSITIVE DRAINAGE THROUGHOUT SITE.

### GRADING LEGEND:

---- LIMITS OF DISTURBANCE

910 PROPOSED CONTOUR LINE

910 — EXISTING CONTOUR LINE

912.20 —— PROPOSED SPOT ELEVATION

HP —— PROPOSED HIGH POINT PROPOSED LOW POINT

DIRECTION OF SLOPE, MIN. 1.00% UNLESS OTHERWISE NOTED.

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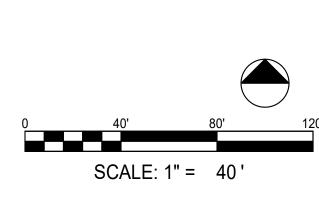
S - HILLSIDE

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**OVERALL GRADING** 

PLAN KEY PROJECT NO. 20138-1 DATE 11/09/2021

C2.00





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LIMITS OF DISTURBANCE

910 PROPOSED CONTOUR LINE existing contour line

912.20 PROPOSED SPOT ELEVATION

HP —— PROPOSED HIGH POINT PROPOSED LOW POINT

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AUSTIN HOMES - HILLSID SITE DEVELOPMENT

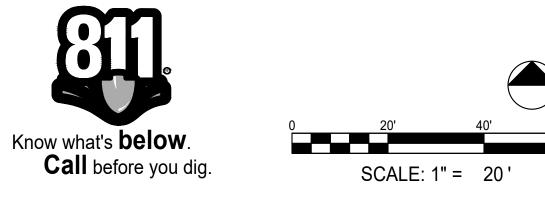
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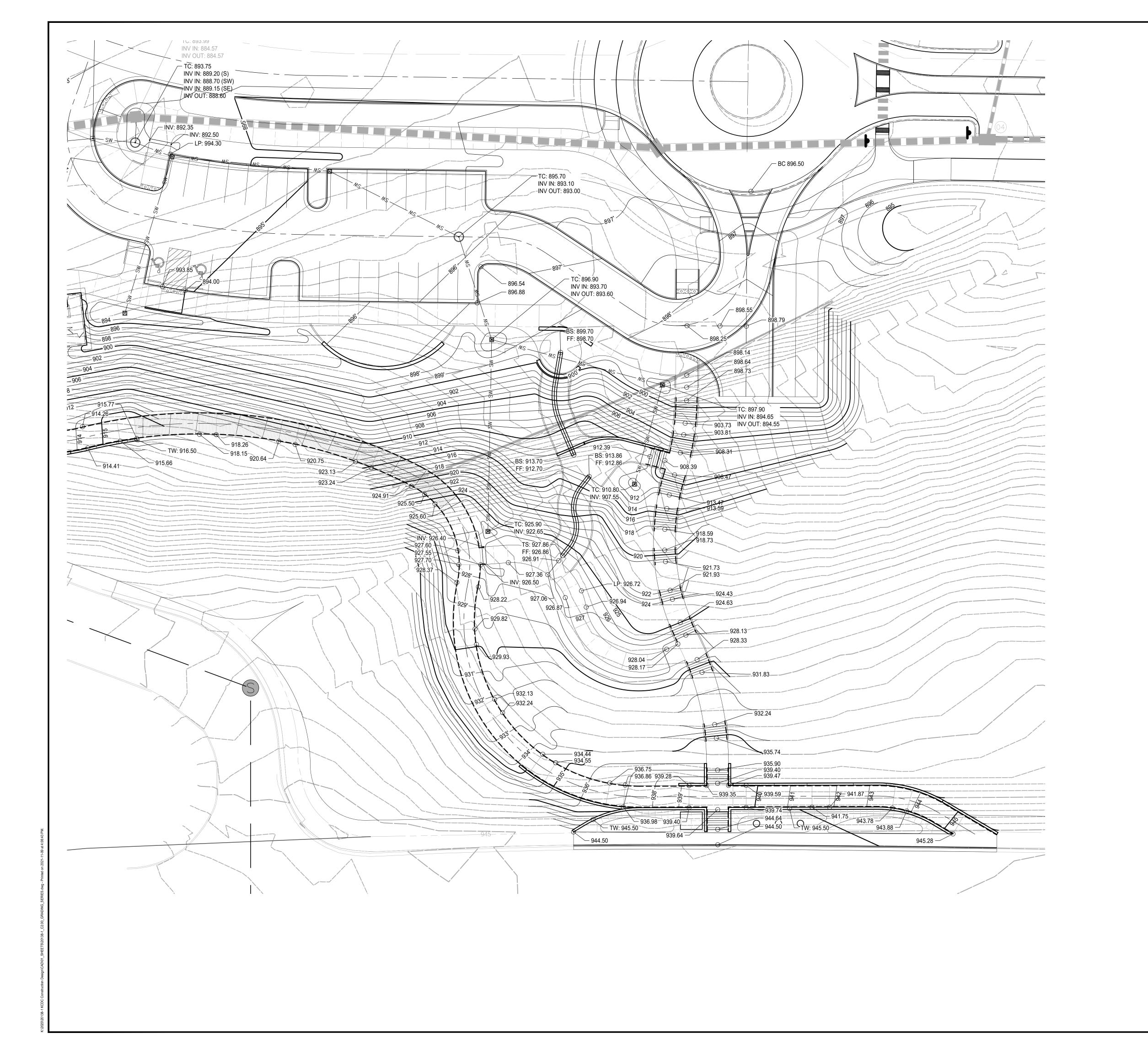
**GRADING PLAN** 

PROJECT NO. 20138-1 DATE 11/09/2021 DRAWN BY NA

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### GRADING NOTES:

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### GRADING LEGEND:

LIMITS OF DISTURBANCE

910 PROPOSED CONTOUR LINE

existing contour line

912.20 PROPOSED SPOT ELEVATION

HP —— PROPOSED HIGH POINT PROPOSED LOW POINT

DIRECTION OF SLOPE, MIN. 1.00% UNLESS OTHERWISE NOTED.

# DESIGN SPACES FOR LIFE

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SLIDE

HOMES - HILLSID SITE DEVELOPMENT

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MMMUNITY DEVELOPMENT CORPORATION

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SUBMITTALS / REVISIONS

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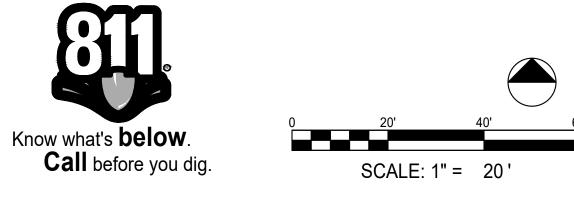
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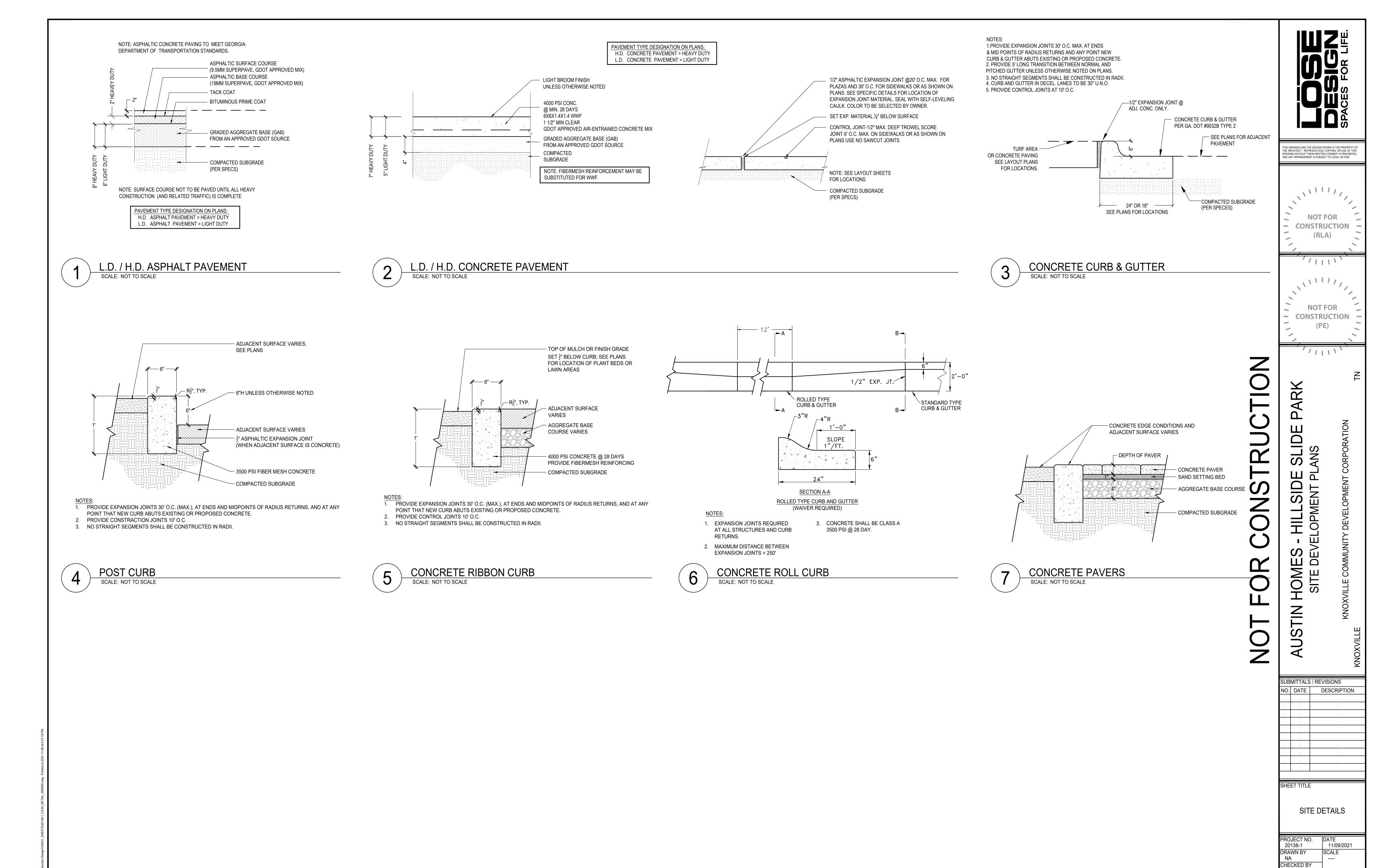
PROJECT NO. DATE
20138-1 11/09/2021

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NA 1" = 20'

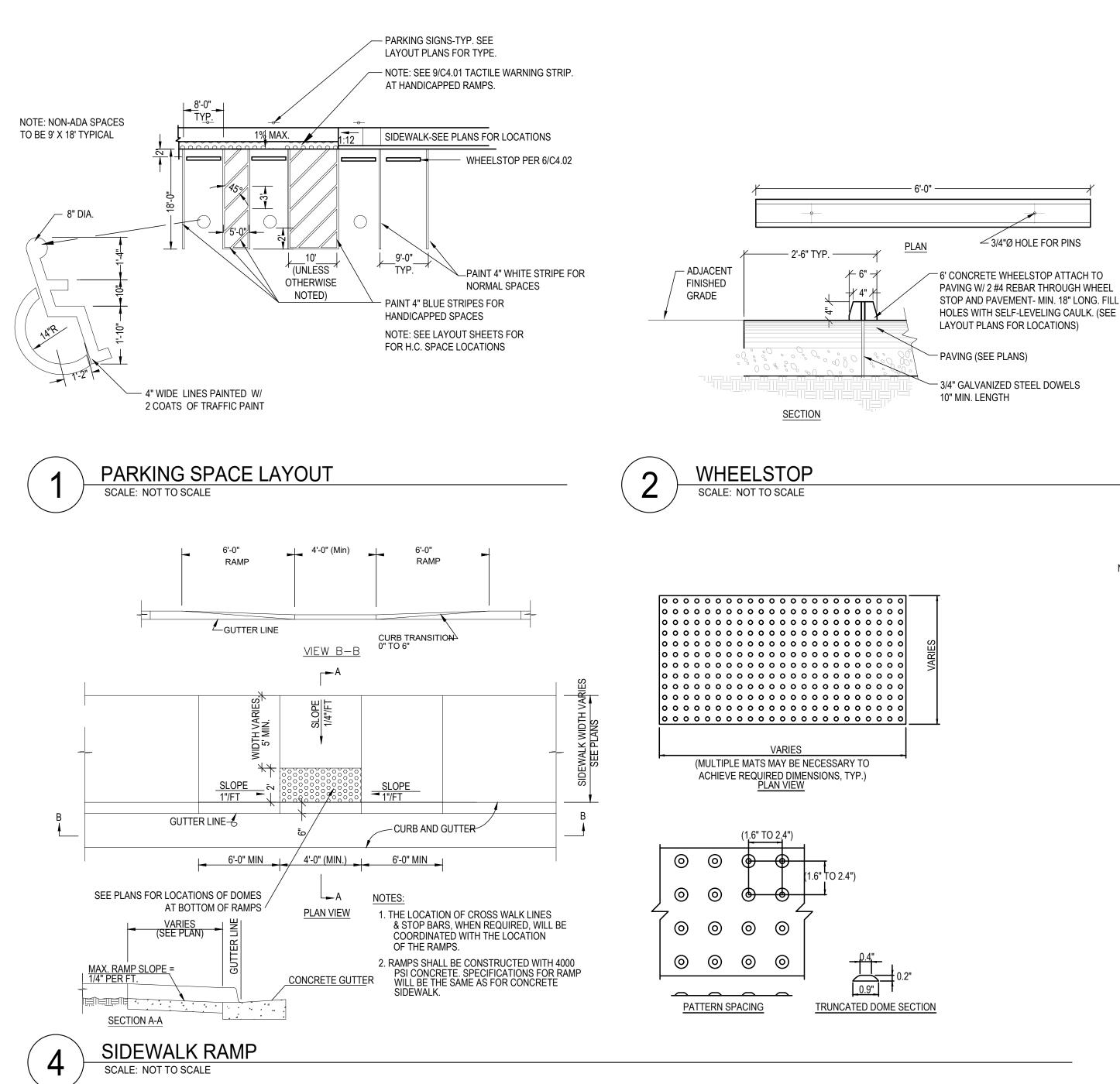
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SHEET NO.



NOTE: INSTALL EXPANSION JOINT AT TOP AND BOTTOM OF RAMPS AND ALONG BACK OF CURB. LANDING TO BE FLUSH WITH PARKING LOT TURN ADJACENT TO FOLLOW RAMP 2' TACTILE WARNING STRIP (SEE PLANS). PER 9/C4.01, SEE PLANS FOR LOCATIONS CURB TO CONTINUE FULL DEPTH TO TOP OF RAMP. INSTALL TURNDOWN EDGE 5' TYP. UNLESS OTHERWISE NOTED.

SCALE: NOT TO SCALE

- INSTALL ALL COMPONENTS PER MANUFACTURER'S SPECIFICATIONS.
- SUBMIT PRODUCT DETAILS AND COLOR SAMPLES FOR OWNER SELECTION PRIOR TO ORDERING OR INSTALLATION. WIDTH OF DETECTABLE WARNING AREA SHALL BE A MINIMUM OF 4 FEET AND VARY WITH WIDTH OF RAMP.
- 4. DETECTABLE WARNING AREA CAN BE SQUARE WHERE USED IN A CURB RADIUS.
- 5. DETECTABLE WARNING DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN TEXTURED DOMES.
- RAMP AND WING SLOPES SHALL NOT BE STEEPER THAN 12:1
- GUTTER FLOW LINE AND PLAN PROFILE SHALL BE MAINTAINED THROUGH THE RAMP AREA.
- THE WING AND RAMP SURFACES SHALL BE 3600 PSI CONCRETE WITH A SIDEWALK FINISH IN ACCORDANCE WITH GDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
- 9. DRAINAGE STRUCTURES, MAST ARMS, LIGHT POLES, AND OTHER OBSTRUCTIONS SHALL NOT BE PLACED IN LINE WITH RAMPS. LOCATION OF THE RAMP SHALL TAKE PRECEDENCE OVER LOCATION OF OBSTRUCTIONS EXCEPT WHERE EXISTING OBSTRUCTIONS ARE BEING UTILIZED IN THE NEW CONSTRUCTION.
- 10. AT ALL LOCATIONS, NOT LESS THAN TWO FEET OF FULL HIGH CURB SHALL BE PLACED BETWEEN RAMPS. 11. DETECTABLE WARNINGS SHALL BE COMPRISED OF DETECTABLE MODULAR TILE CONFORMING TO THE FOLLOWING:
- -PROVIDE MODULAR PAVER DETECTABLE WARNING SURFACE TILES AND ACCESSORIES AS PRODUCED BY A SINGLE MANUFACTURER WITH A MINIMUM OF THREE (3) YEARS EXPERIENCE IN THE MANUFACTURING OF MODULAR PAVER DETECTABLE/TACTILE WARNING SURFACE TILES.
- -INSTALLER'S QUALIFICATIONS: ENGAGE AN EXPERIENCED INSTALLER CERTIFIED IN WRITING BY MODULAR PAVER DETECTABLE/TACTILE WARNING SURFACE TILE MANUFACTURER AS QUALIFIED FOR INSTALLATION, WHO HAS SUCCESSFULLY COMPLETED INSTALLATIONS SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR
  - -AMERICANS WITH DISABILITIES ACT (ADA): PROVIDE MODULAR PAVER DETECTABLE/TACTILE WARNING SURFACE TILES WHICH COMPLY WITH THE DETECTABLE WARNINGS ON WALKING SURFACES SECTION OF THE AMERICANS WITH DISABILITIES ACT (TITLE III REGULATIONS, 28 CFR PART 36 ADA STANDARDS FOR ACCESSIBLE DESIGN, APPENDIX A, SECTION 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES).
  - -VITRIFIED POLYMER COMPOSITE (VPC) MODULAR PAVER DETECTABLE/TACTILE WARNING SURFACE TILES SHALL BE AN EPOXY POLYMER COMPOSITION WITH AN ULTRA VIOLET STABILIZED COATING EMPLOYING ALUMINUM OXIDE PARTICLES IN THE TRUNCATED DOMES. THE TILE SHALL INCORPORATE AN IN-LINE PATTERN OF TRUNCATED DOMES MEASURING NOMINAL 0.2" HEIGHT, 0.9" BASE DIAMETER, AND 0.45" TOP DIAMETER, SPACED CENTER-TO-CENTER 2.35" AS MEASURED ON A DIAGONAL AND 1.70" AS MEASURED SIDE BY SIDE. FOR WHEELCHAIR SAFETY THE FIELD AREA SHALL CONSIST OF A NON-SLIP SURFACE WITH A MINIMUM OF 40 - 90° RAISED POINTS 0.045" HIGH, PER SQUARE INCH; ARMOR-TILE" AS MANUFACTURED BY ENGINEERED PLASTICS INC., TEL: 800-682 2525, OR APPROVED
  - -DIMENSIONS: MODULAR PAVER DETECTABLE/TACTILE WARNING SURFACE TILES SHALL BE HELD WITHIN THE FOLLOWING DIMENSIONS AND TOLERANCES: LENGTH AND WIDTH: [12X12] NOMINAL
    - DEPTH: 1.375 (1-3/8") (+/-) 5% MAX. FACE THICKNESS: 0.1875 (1-3/8") (+/-) 5% MAX. WARPAGE OF EDGE: 0.5% MAX.

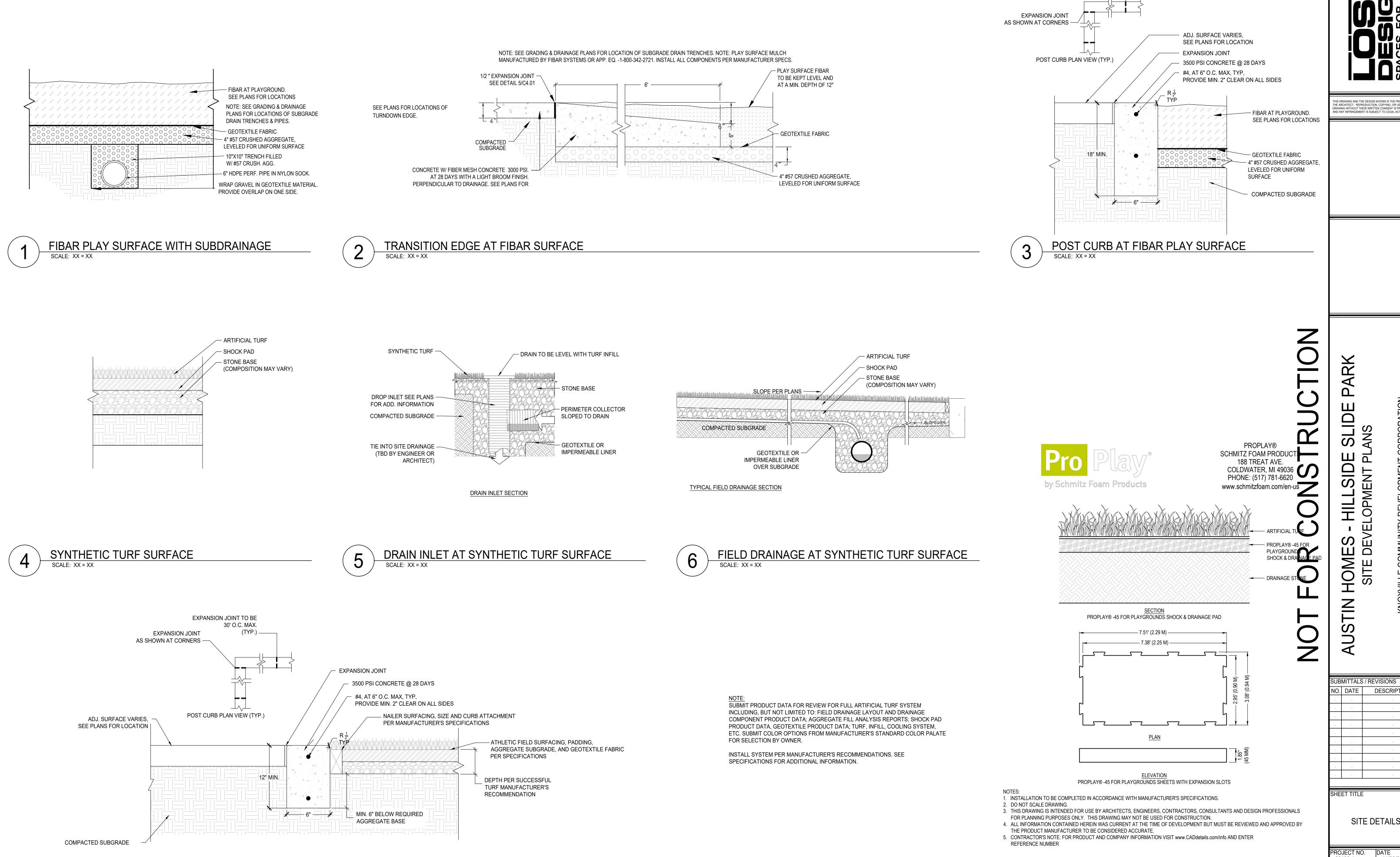
- -WATER ABSORPTION OF TILE WHEN TESTED BY ASTM D 570-98 NOT TO EXCEED 0.05%. -SLIP RESISTANCE OF TILE WHEN TESTED BY ASTM C 1028-96 WET/DRY STATIC CO-EFFICIENT OF FRICTION VALUES ARE
- NOT TO BE LESS THAN 0.80 ON TOP OF DOMES AND FIELD AREA. COMPRESSIVE STRENGTH OF TILE WHEN TESTED BY ASTM D 695-02 NOT TO BE LESS THAN 28,000 PSI.
- -TENSILE STRENGTH OF TILE WHEN TESTED BY ASTM D 638-03 NOT TO BE LESS THAN 19,000 PSI.
- -FLEXURAL STRENGTH OF TILE WHEN TESTED BY ASTM D 790-03 NOT TO BE LESS THAN 25,000 PSI. -CHEMICAL STAIN RESISTANCE OF TILE WHEN TESTED BY ASTM D 543-95 (RE APPROVED 2001) TO WITHSTAND WITHOUT
- DISCOLORATION OR STAINING -10% HYDROCHLORIC ACID, URINE, SATURATED CALCIUM CHLORIDE, BLACK STAMP PAD INK, CHEWING GUM, RED AEROSOL
- PAINT, 10% AMMONIUM HYDROXIDE, 1% SOAP SOLUTION, TURPENTINE, UREA 5%, DIESEL FUEL AND MOTOR OIL. -ABRASIVE WEAR OF TILE WHEN TESTED BY BYK - GARDNER TESTER ASTM D 2486-00\* (\*ATX-G-U STANDARD) WITH RECIPROCATING LINEAR MOTION OF 37± CYCLES PER MINUTE OVER A 10" TRAVEL. THE ABRASIVE MEDIUM, A 40 GRIT NORTON METALLITE SAND PAPER, TO BE FIXED AND LEVELED TO A HOLDER. THE COMBINED MASS OF THE SLED, WEIGHT AND WOOD BLOCK IS TO BE 3.2 LB. AVERAGE WEAR DEPTH SHALL NOT EXCEED 0.06 AFTER 1000 ABRASION CYCLES MEASURED ON THE TOP SURFACE OF THE DOME REPRESENTING THE AVERAGE OF SIX
- MEASUREMENT LOCATIONS PER SAMPLE. -RESISTANCE TO WEAR OF UNGLAZED CERAMIC TILE BY TABER ABRASION PER ASTM C501-84 (RE APPROVED 2002) SHALL NOT BE LESS THAN 500.
- -FIRE RESISTANCE OF TILE WHEN TESTED TO ASTM E 84-05 FLAME SPREAD BE LESS THAN 15. -GARDNER IMPACT TO GEOMETRY "GE" OF THE STANDARD WHEN TESTED BY ASTM D 5420-04 TO HAVE A MEAN FAILURE ENERGY EXPRESSED AS A FUNCTION OF SPECIMEN THICKNESS OF NOT LESS THAN 550 IN. LBF/IN. A FAILURE IS
- NOTED WHEN A CRACK IS VISIBLE ON EITHER SURFACE OR WHEN ANY BRITTLE SPLITTING IS OBSERVED ON THE BOTTOM PLAQUE IN THE SPECIMEN. ACCELERATED WEATHERING OF TILE WHEN TESTED BY ASTM G 155-05A FOR 3000 HOURS SHALL EXHIBIT THE FOLLOWING RESULT - ΔE <4.5, AS WELL AS NO DETERIORATION, FADING OR CHALKING OF SURFACE OF TILE COLOR NO 33538.
- -ACCELERATED AGING AND FREEZE THAW TEST OF TILE AND STRUCTURAL EMBEDMENT FLANGE SYSTEM WHEN TESTED TO ASTM D 1037-99 SHALL SHOW NO EVIDENCE OF CRACKING, DELAMINATION, WARPAGE, CHECKING, BLISTERING, COLOR CHANGE, LOOSENING OF TILES OR OTHER DETRIMENTAL DEFECTS.
- -SALT AND SPRAY PERFORMANCE OF TILE AND STRUCTURAL EMBEDMENT FLANGE SYSTEM WHEN TESTED TO ASTM B 117-03 NOT TO SHOW ANY DETERIORATION OR OTHER DEFECTS AFTER 200 HOURS OF EXPOSURE.
- -POLYMER CONCRETE AND/OR EPOXY RESIN PROPERTIES SHALL MEET OR EXCEED THE FOLLOWING CRITERIA: -TENSILE STRENGTH OF RESIN: GREATER THAN 7,000PSI; ASTM D 638
- -MODULUS OF ELASTICITY OF RESIN: GREATER THAN 4,000PSI; ASTM D 638 -BOND STRENGTH OF POLYMERIC CONCRETE: GREATER THAN 8,000PSI; ASTM C 551

HILLSIDI HOME: SITE DE AUSTIN

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SITE DETAILS

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POST CURB AT SYNTHETIC CURB SURFACE

**EXPANSION JOINT TO BE** 

SCALE: XX = XX

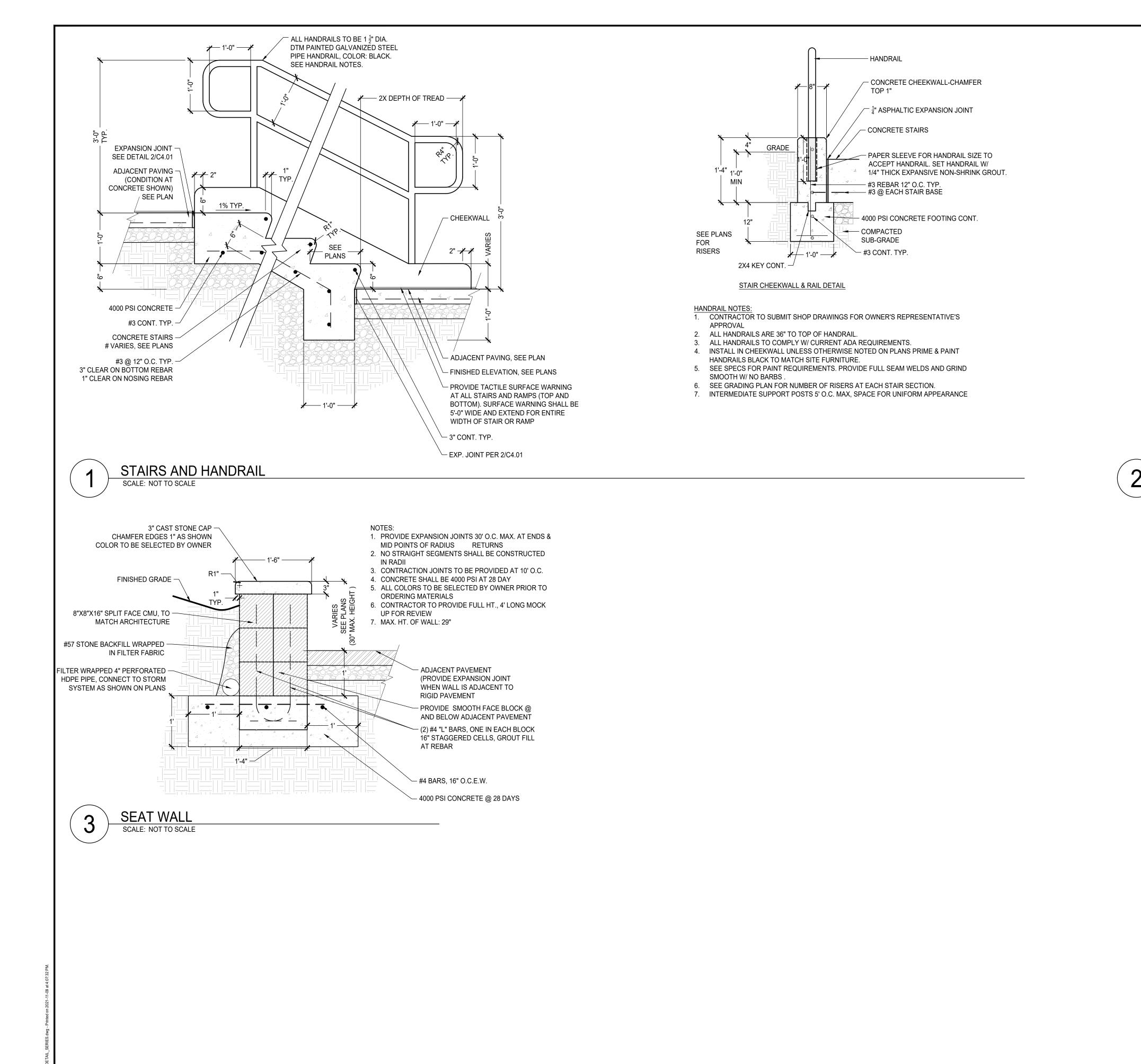
30' O.C. MAX.

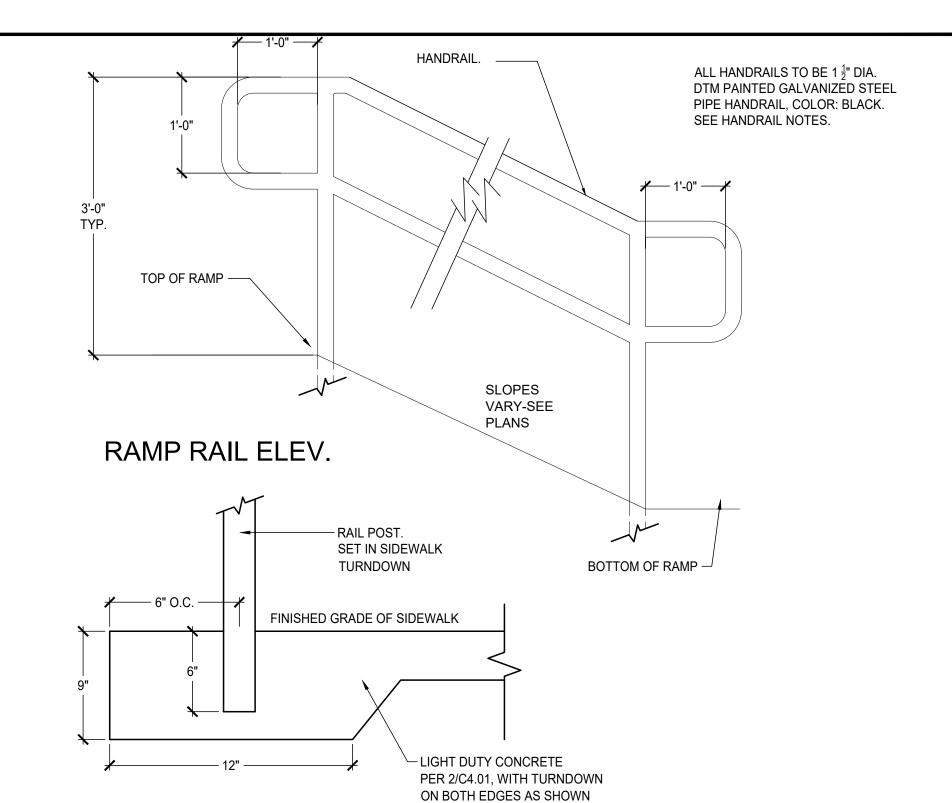
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SIDEWALK EDGE & RAIL INSTALLATION RAMP AND HANDRAIL

SCALE: NOT TO SCALE

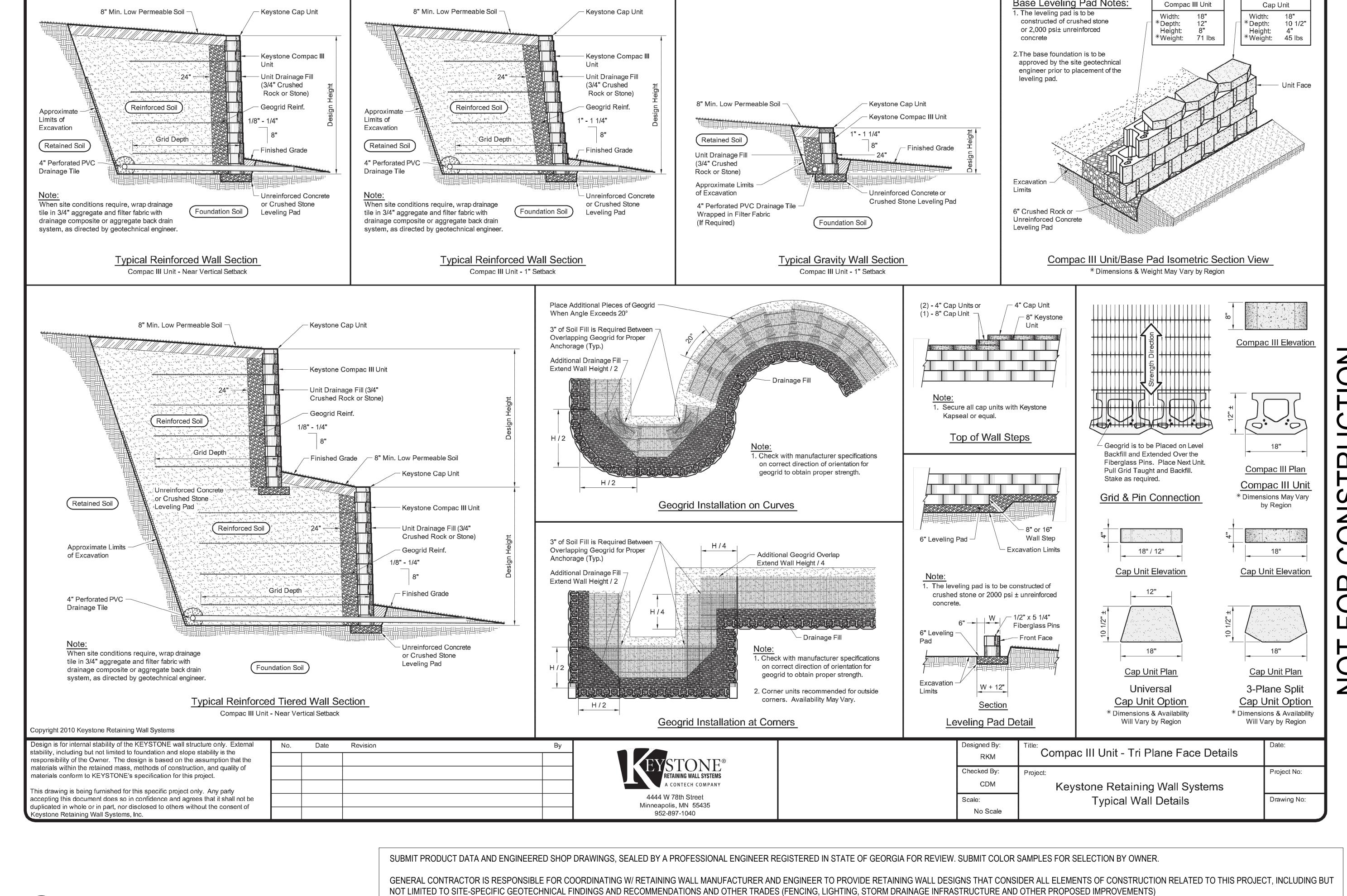
USTIN HOMES - HILLSIDE SLIDE PARK SITE DEVELOPMENT PLANS

SITE DETAILS

PROJECT NO. 20138-1 11/09/2021

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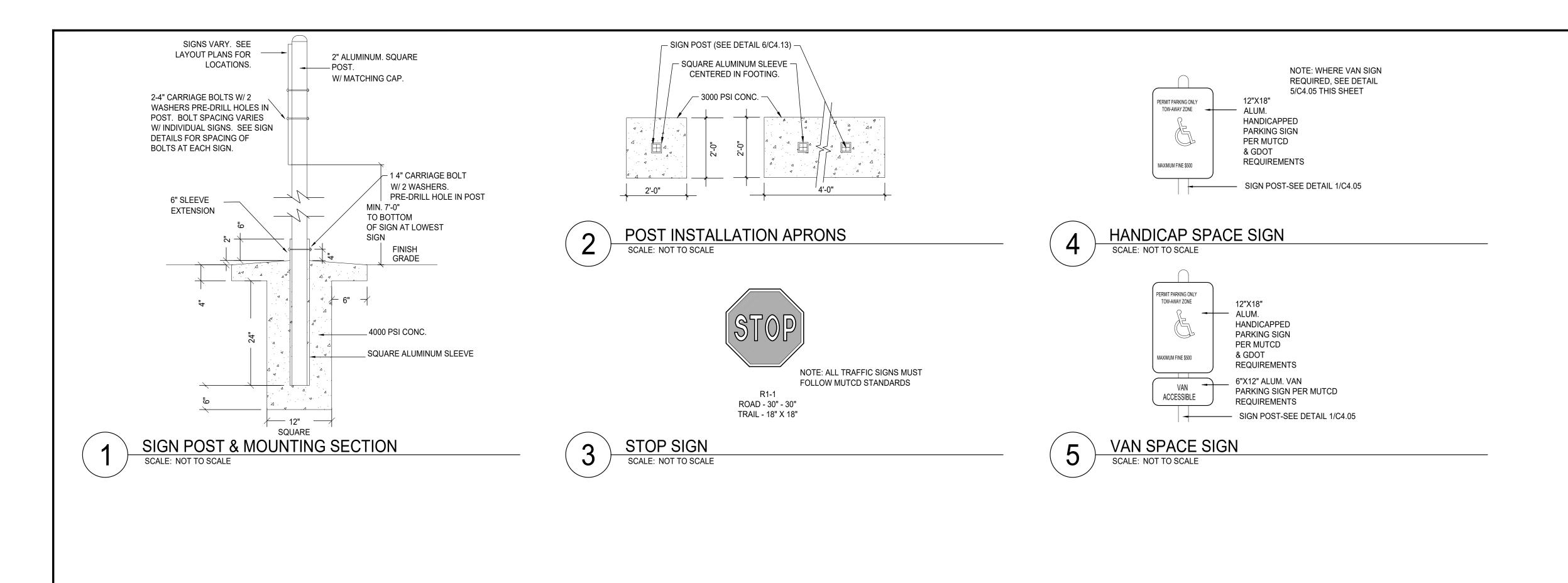
Base Leveling Pad Notes:

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JBMITTALS / REVISIONS NO. DATE DESCRIPTION

SITE DETAILS

11/09/2021 20138-1 RAWN BY CHECKED BY SHEET NO.



GENERAL CONTRACTOR MUST SUBMIT ALL SIGNAGES FOR REVIEW PRIOR TO ORDERING, INSTALLATION, ETC.

# OT FOR CONSTRUCTION

AUSTIN HOMES - HILLSIDE SLIDE PARK
SITE DEVELOPMENT PLANS

HEET TITLE

SITE DETAILS

PROJECT NO. DATE
20138-1 11/09/2021

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밀 AUSTIN HOMES - HILLSID SITE DEVELOPMENT

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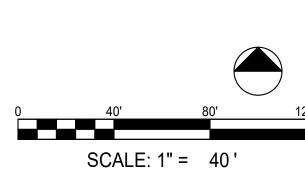
OVERALL LANDSCAPE PLAN KEY PROJECT NO. 20138-1 11/09/2021

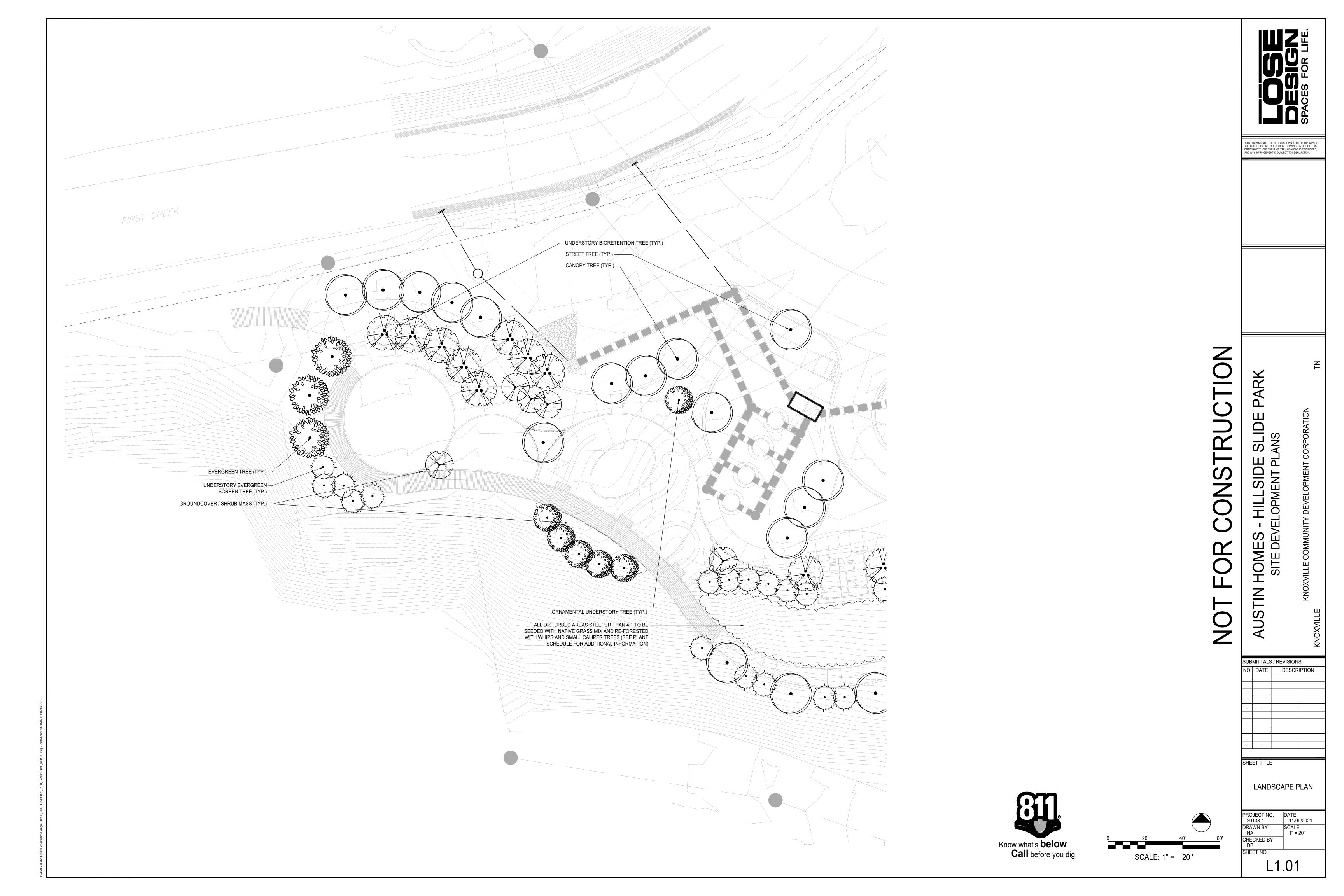
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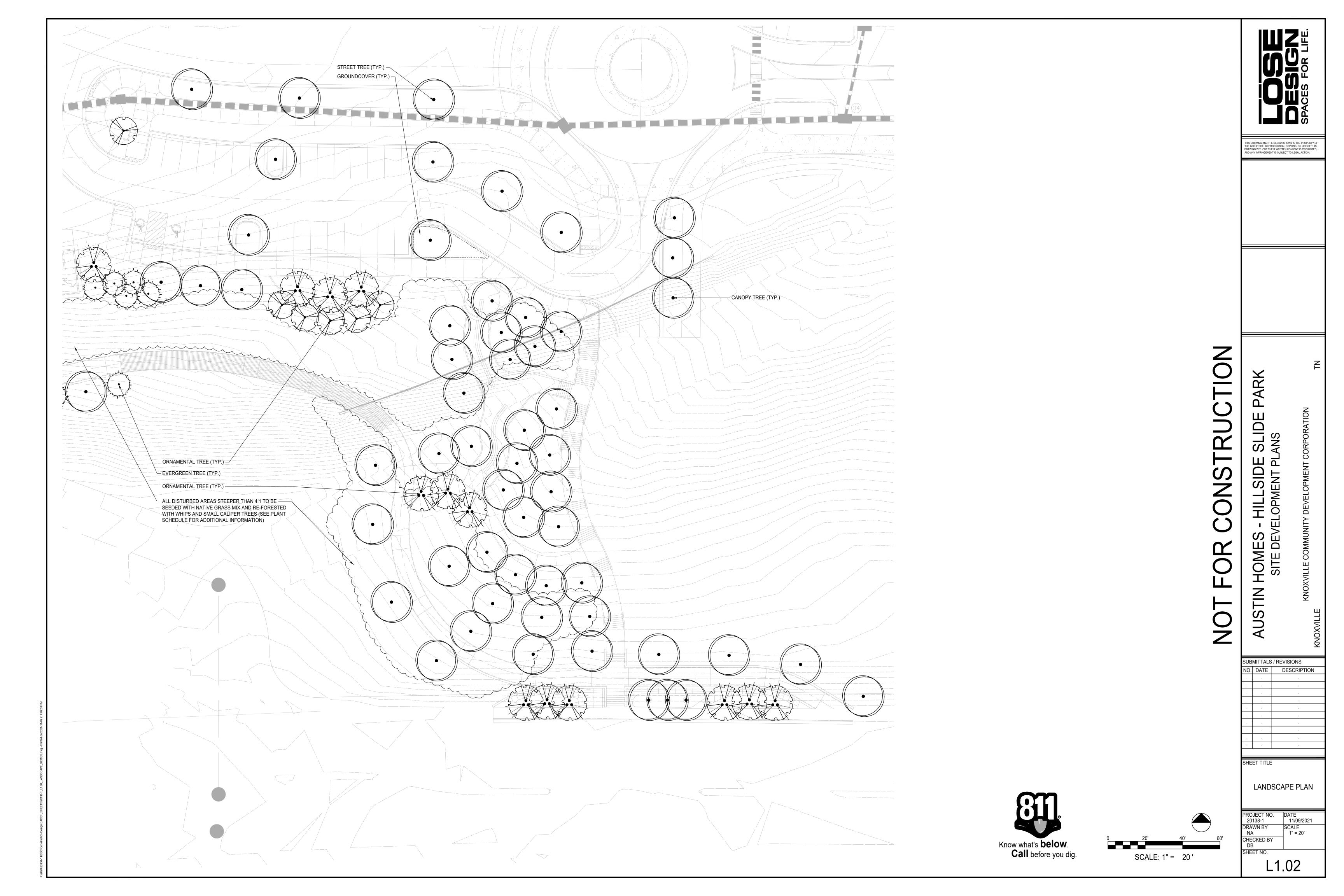
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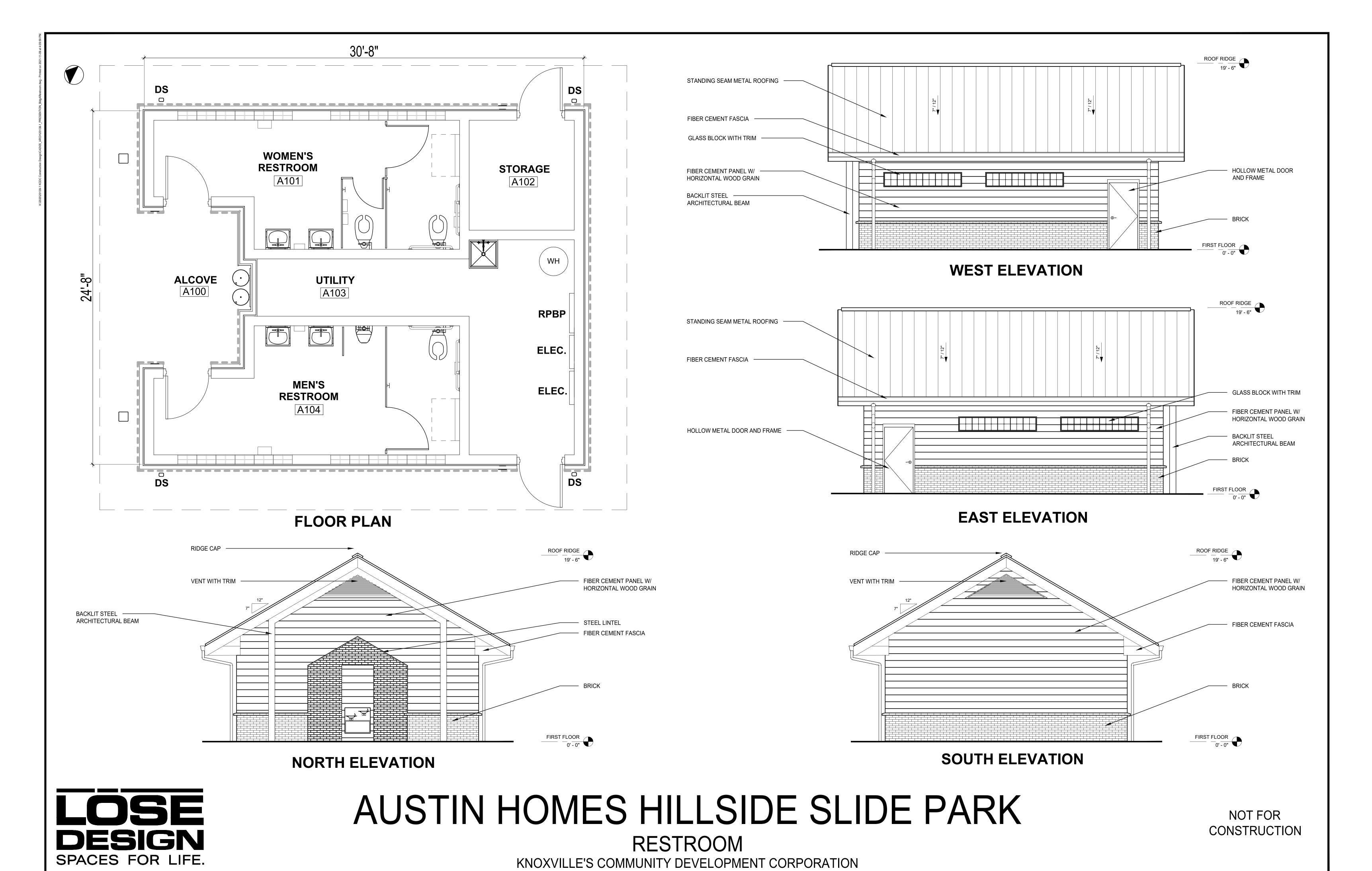
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