

LONSDALE REDEVELOPMENT AND URBAN RENEWAL PLAN



KNOXVILLE, TENNESSEE
November 2005

Prepared by: Knoxville's Community Development Corporation



KNOXVILLE CITY GOVERNMENT

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Vice-Mayor – Mark A. Brown

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I. INTRODUCTION

William Ragsdale enlisted 100 Knoxville businessmen in 1890 for a land development project on the Western edge of Knoxville north of Western Avenue and south of Mechanicsville. It was named for his parents, Lonas and Dale Ragsdale.

Today, the Lonsdale community is bordered by Heiskell Avenue to the north and Texas Avenue to the west, and the Western Heights housing project to the east. Many of the homes exhibit Victorian and Craftsman influence.

Ragsdale named many of the streets after Civil War generals and Union states.

Water rights appeared two years later from the Lonsdale–Beaumont Water Corporation, bringing in much needed industrial development in the form of lumber, paper, coal and brick companies.

The community suffered following World War II, as many longtime residents moved away to Oak Ridge and further north and west.

The City of Knoxville has long been committed to revitalizing each inner center community. With Federal Empowerment Zone funds the City hopes to provide the catalyst to begin the long process of revitalizing the Lonsdale community. This plan provides the framework. It contains a summary of concepts and additional proposals and recommendations that were borne out of recent Empowerment Zone planning. The planning includes proposals for future land use, community facilities, transportation improvements and neighborhood conservation measures, to include a commercial center, housing development and rehabilitation.

The Knoxville City Council adopted a resolution on March 29, 2005, requesting Knoxville's Community Development Corporation ("KCDC") to create a redevelopment and urban renewal plan for the Lonsdale community in order to further encourage the revitalization of the area. KCDC has prepared this plan as a result of that request and has submitted the plan as both a redevelopment plan under Section 13-20-203(B) of the Tennessee Code Annotated and an urban renewal plan under Section 13-20-211 of the Tennessee Code Annotated.

This plan is a direct result of the emphasis that the City of Knoxville has placed on the redevelopment of Lonsdale area. Adoption of the plan will hopefully provide an incentive for business owners, individual residents, developers and property owners, both existing and prospective, to seek creative approaches for renovation and development of the properties in the area, thereby initiating through private development renovation of the area structures and revitalization of the community.

II. PROJECT BOUNDARY AND EXISTING CONDITIONS

The project area is generally bounded by I-275 on the East, Louisiana Avenue and Gerald Drive on the South, Grit Street and Gamecock Avenue on the West, and Dwight Street and Crozier Street on the North.

The area is characterized by numerous vacant lots especially in the northern section. There are many platted but unopened public streets. The existing street patterns are irregular. Many homes are in need of rehabilitation. A lot of truck traffic passes through the neighborhood particularly along Texas Avenue. Commercial activity is very limited. There are no buffers between the neighborhood and existing industrial uses. The neighborhood consists of many blighting influences. Blight is defined as "areas with buildings or improvements which by reason of dilapidation, obsolescence, overcrowding, faulty

arrangement or design, lack of ventilation, light, and sanitary facilities, excessive land coverage, deleterious land use, or obsolete layout, or any combination of these or other factors that are detrimental to the safety, health, morals or welfare of the community."

Accordingly, the redevelopment area clearly is eligible to be a redevelopment project within the meaning of Section 13-20-202(a) of the Tennessee Code Annotated. Based on physical inspections of the area conducted by KCDC, the redevelopment area is blighted due to dilapidation of a number of the buildings throughout the redevelopment area. Much of the land use in the area is also deleterious because of vacant buildings, vacant lots or inappropriate land uses. The redevelopment area also clearly qualifies as an urban renewal project within the meaning of Section 13-20-212(a) of the Tennessee Code Annotated because the area, based upon physical inspection by KCDC, when considered as a whole, is blighted, deteriorated and deteriorating.

Blighted areas constitute physical and economic liabilities, requiring redevelopment in the interest of the health, safety and general welfare of the people of these communities. Such areas present difficulties and handicaps which are beyond remedy and control solely by the regulatory processes in the exercise of police power. They contribute substantially and increasingly to the problems of, and necessitate excessive and disproportionate expenditures for public services and private investment.

State law defines "blight" or "blighted areas" as "areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community."

To help illustrate what blight is, the following is a list of characteristics that constitute blight or blighting influences. Specifically, blight is an area or property characterized by both of the following conditions:

1. An area or property that is predominantly urbanized and an area in which the combination of conditions set forth below is so prevalent and so substantial that it causes a reduction of, or lack of, proper utilization of the area to such an extent that it constitutes a serious physical and economic burden on the community which cannot reasonably be expected to be reversed or alleviated by private enterprise or government, or both, without significant investment.

2. An area or property that is characterized by one or more of the following:

a. Buildings in which it is unsafe or unhealthy for persons to live or work. These conditions can be caused by serious building code violations, dilapidation and deterioration, serious deferred exterior maintenance or renovation, defective design or physical construction, faulty or inadequate utilities or other similar factors.

b. Factors that prevent or substantially hinder the economically viable use or capacity of buildings or lots. This condition can be caused by substandard design, inadequate size given present standards and market conditions, lack of parking, public improvements or utilities.

c. Adjacent or nearby uses that are incompatible with each other and which prevent the economic development of those parcels or other portions of the project area.

d. The existence of subdivided lots of irregular form and shape inadequate size for proper usefulness and development that are in multiple ownership.

e. Depreciated or stagnant property values or impaired investments, including, but not necessarily limited to those properties containing hazardous wastes that require the governmental authority.

III. REDEVELOPMENT GOALS AND OBJECTIVES

- Eliminate the conditions of blight and inappropriate land uses existing within the redevelopment project area.
- Ensure, to the greatest possible extent, that the causes of blighting conditions are eliminated or protected against.
- Provide participation opportunities, for owner and business tenants in the areas to the overall redevelopment objectives of the Redevelopment Plan.
- Encourage and ensure the redevelopment of the Project Area.
- Encourage and foster the economic revitalization of the Project Area.
- Finance and construct the public improvements described in the Redevelopment Plan.
- Extend Gap Road to Texas Avenue.
- Restrict trucking, especially along Texas Avenue.
- Buffer the residential areas from the industrial uses.
- Provide code and design standards for infill housing.
- Develop the ridge area by replatting the lots and eliminate the road grid system.
- Develop traffic calming, a greenway and continuous sidewalk system.
- Create smaller scale light standards for streets and alleyways.
- Encourage the development of commercial space.
- Provide for gateway entrances with arches to define the community.

IV. RELATIONSHIP TO LOCAL OBJECTIVES

Appropriate Land Uses

Most of the redevelopment area is presently zoned for the proposed and current land uses. In the event that any specific proposed uses require zoning approvals, KCDC will take steps to secure the proper zoning for the area to encourage redevelopment proposals for the appropriate uses.

Improved Traffic and Public Transportation

A major goal of the redevelopment plan is to extend Gap Road to Texas Avenue thereby connecting the neighborhood with another major roadway. Additionally, eliminating truck traffic along Texas Avenue will significantly reduce the threat of accidents and improve traffic flow. Public transportation is available through the Knoxville Area Transit buses.

Public Utilities

The redevelopment area presently has full access to all public utilities with the exception of the ridge area. It is likely, however, that some utility improvements may be required in order to meet the demands of the renovated or newly developed structures and to provide utilities to the ridge area if development occurs.

Recreational and Community Facilities

A major neighborhood park is planned by the City Administration through an approved grant. Other quality recreational areas are planned within the community including a possible greenway system.

V. LAND ACQUISITION POLICY

The Land Acquisition Policy, as approved by the Board of Commissioners of Knoxville's Community Development Corporation sets forth procedures which are followed in all locally financed projects administered by the Agency. KCDC will:

- Make every reasonable effort to acquire real property expeditiously through negotiated agreements;
- Pay just compensation for all property interests acquired and conduct acquisition activities in a manner which minimized hardship to owners and tenants and which promotes public confidence in the land acquisition practices;
- Assure consistent and fair treatment to all owners and tenants.

To that end, KCDC shall:

a. Provide the owner and tenant of property to be acquired with an official written notice of its intent to acquire the real property. Such notice shall be given as soon as feasible after the approval to acquire the property, but prior to the date on which negotiations to acquire the property are initiated. The Notice of Intent to Acquire shall include (or be accompanied by) a statement of explanation of the acquisition procedures, including condemnation, and shall explain the principal rights and options of the owner and/or tenant.

b. All property interests to be acquired shall be appraised independently by a competent professional appraiser in private practice, which appraisals shall then be reviewed by a competent

KCDC staff appraisal reviewer. No appraiser shall have any interest, financial or otherwise, in the property to be acquired.

c. The appraiser shall make an on-site inspection of the property to be acquired and shall give the owner or their designated representative an opportunity to accompany him during the inspection of the property. The name (s) of the individual (s) who accompanied the appraiser shall be denoted on each appraisal report.

d. The staff review appraiser shall determine the acceptability and adequacy of the appraisal reports and shall require any corrections or further documentation as may be deemed necessary.

e. After the staff review appraiser finds the appraisal reports acceptable and proper, he shall present to KCDC his report indicating opinion of the fair market value for the property to be acquired. Said value shall not be lower than the lowest appraisal or higher than the highest appraisal. The number of appraisals shall be determined by the complexity of the acquisition. "Fair market value" shall be defined, in general, as "what a willing buyer is willing to pay, but is under no compulsion to do so, and what a willing seller is willing to sell for, but is under no compulsion to sell."

f. Following acceptance of the staff review appraiser's recommendation, KCDC shall verify that the appraisers and the staff review appraiser have performed in a competent manner in accordance with applicable law, and shall then establish a fair market value (just compensation) for each identified property interest to be acquired.

g. Initiation of negotiations for the acquisition of property shall be commenced with each owner of a separately held compensable interest as soon as practicable after the fair market value of interest has been established.

h. The basic negotiation procedures which shall be followed are:

1. A written offer to the owner to acquire his property, delivered person; or if the owner (or his representative) is not available, may be mailed by certified or registered mail.

2. The offer shall include the full purchase price and a statement explaining the basis for the amount established as just compensation for all interests in the property. It shall properly identify the property and shall include any other necessary information pertinent to the offer and to the acquisition of the property.

3. The owner shall be advised that the normal closing costs, including title search and preparation of the deed, will be paid by KCDC. The owner shall also be advised that they are not required to pay a sales commission; however, all loans, liens, and outstanding taxes on the property must be satisfied prior to or at the time of settlement.

4. KCDC shall make every reasonable effort to discuss the offer purchase with the owner, to explain the procedures fully, and shall give the owner a reasonable length of time to respond to the offer.

5. If the owner presents evidence indicating the need of further review or revision in the fair market value as established, KCDC shall require the appraiser to update their appraisal or shall obtain a new appraisal.

i. Before instituting a condemnation proceeding, KCDC shall make a diligent, conscientious effort to induce the owner to accept the established fair market value for their property. A final offer to acquire the property shall be made in writing to the owner or their representative, and reasonable time allowed for acceptance.

j. No owner-occupant or tenant lawfully occupying real property shall be required to move without notification in writing from KCDC at least thirty days prior to the date on which possession will be required. The owner-occupant or tenant shall further be advised of all property management policies which relate to their occupancy.

k. Real property acquisition activities shall be coordinated with relocation activities to ensure that those persons displaced shall not suffer disproportionate injuries as a result of programs designed for the benefit of the public as a whole.

NOTE: In the event that federal funding should be received for the benefit of the project, or any part thereof, KCDC shall comply with all applicable regulations, procedures and actions as required by such grants or funding as it relates to acquisition and relocation activities.

VI. RELOCATION PLAN AND POLICY

KCDC's Relocation Policy, prepared in accordance with state and local laws, serves as a guideline to be consistently followed and implemented throughout the relocation phase of the Historic Market Square Redevelopment Plan. This redevelopment project, if solely financed through local sources, will be subject to the City's Relocation Ordinance. Further, if the project, or any part thereof, should receive federal funding, thus requiring compliance with additional or other guidelines, all applicable regulations will apply.

The relocation activities for the Lonsdale Redevelopment and Urban Renewal Plan shall be carried out in such a manner:

- To insure, to the maximum extent possible, the prompt and equitable relocation and re-establishment of persons, businesses and non-profit organizations displaced as a result of project activities;
- To provide relocation assistance without regard to race, creed, color, sex or national origin;
- To provide relocation assistance in a fair manner so that no displacee shall suffer disproportionate injuries as a result of the project.

In order to formulate this relocation plan and to establish the feasibility of assisting all who may be displaced by the project, an initial survey of project occupants and possible resources has been conducted by KCDC. That survey indicates that adequate resources are, and will be available to meet the needs of all displacees.

Upon approval of the Redevelopment Plan, a KCDC representative will personally contact each business to be displaced and will explain the relocation program and will discuss and determine any special needs of the displacee. The assigned staff representative will assist businesses in finding a

suitable and acceptable replacement location and will follow through on any special needs or assistance determined necessary or helpful. Every effort will be made to minimize the hardships of relocation and re-establishment of businesses. Under local policy, actual reasonable moving expenses will be paid for the relocation of all movable items according to the adopted policy. KCDC staff will assist the displacee in filing the required claims and in obtaining documentation necessary to the payment of claims.

All businesses that are displaced from property as a direct result of the acquisition of that property may be eligible for relocation assistance and payments. Eligibility is established if the business lawfully occupies the property to be acquired at the time negotiations begin for the purchase of the property; however, if a business begins occupancy of the property after negotiations have begun for its purchase, that occupant will not be eligible for assistance or payments. Property owners and tenants will be so advised in the "Notice of Intent to Acquire" which will be delivered prior to the initiation of negotiations for acquisition. A "Notice to Vacate," if required, will be given to all occupants following acquisition of property.

As mentioned earlier in this Plan, if special project funding is received which requires implementation of other than local policies, KCDC will comply with applicable regulations relative to all relocation matters.

KCDC is mindful of the needs of the present occupants within the project area who may be displaced, and will make every effort to minimize the hardships to those displacees. Accordingly, the purchase of properties and the displacement of occupants will be scheduled and coordinated in such a manner to accommodate, to the maximum extent possible, those special needs which may require extraordinary assistance.

No owner-occupant or tenant lawfully occupying real property shall be required to move without notification in writing from KCDC at least thirty days prior to the date on which possession will be required. The owner-occupant or tenant shall further be advised of all property management policies which relate to their occupancy.

Real property acquisition activities shall be coordinated with relocation activities to ensure that those persons displaced shall not suffer disproportionate injuries as a result of programs designed for the benefit of the public as a whole.

NOTE: In the event that federal funding should be received for the benefit of the project, or any part thereof, KCDC shall comply with all applicable regulations, procedures and actions as required by such grants or funding as it relates to acquisition and relocation activities.

VII. LAND DISPOSITION PLAN

Acquired land will be conveyed to developers through a Special Warranty Deed that contains restrictive covenants and a reversionary right to insure redevelopment and prevent speculation. Accordingly, developers must complete the Final Plan development authorized by the KCDC Board of Commissioners. Further, undeveloped land and/or buildings shall not be sold for a profit and will be subject to seizure by KCDC.

After proper submission, review and approval of an accepted Redevelopment Plan as determined to be in the best interest of our community, various parcels may be replatted, so as to allow maximum usage and conform to existing building codes, thereby facilitating speedy acquisition and development within the plan boundary. Specific site development shall be accomplished by the sale of acquired properties to private developers, individuals and/or community groups or other entities that will develop the land within the scope of the stated Redevelopment Plan. Public improvements may be accomplished by the City of Knoxville in conjunction with individual private developments.

VIII. INTERIM USE OF ACQUIRED PROPERTIES

It shall be the intent of this Redevelopment Plan to continue current uses until such time as a development proposal materializes, and/or until the need for development is imminent. If, however, a property owner wishes to sell, or an occupant wishes to relocate prior to the scheduled need, KCDC may purchase the property and provide for an appropriate interim use.

IX. PROPERTY MANAGEMENT

In accordance with redevelopment and construction schedules, it is anticipated that certain properties may be under management at various times in the redevelopment project area. Although the primary objectives of the property management activity will be to minimize the length of occupancy of property after acquisition and to relocate occupants as quickly and efficiently as possible into appropriate accommodations in accordance with the Relocation Plan, relocation and demolition activities will be staged in a manner determined most beneficial to the project and as demanded by proposed redevelopment schedules. Only such maintenance as may be required for the health and safety of persons lawfully remaining in occupancy will be undertaken.

KCDC does not anticipate that it will be necessary to employ security personnel to ensure protection of the site property. The property manager will make frequent tours of the acquired properties in order to keep himself informed of the condition of such properties. A rent schedule will be established for property which is to be temporarily occupied after acquisition.

X. PLAN AMENDMENTS

In the course of implementing this redevelopment plan, amendments to this plan may be warranted. Any amendments to this plan will only be adopted by City Council after a public hearing is conducted in the same manner as the hearing was conducted prior to the adoption of this plan and, where applicable, in compliance with the requirements of Section 13-20-205 of the Tennessee Code Annotated. Notice of any proposed amendments will be given to all property owners within the project area pursuant to the requirements of state law. If County Commission's approval of any amendment is required by state law, such approval will also be requested.

A-Z-

Appendix A

Lonsdale

21-Feb-2005

SCALE: 1" = 800' (AT FULL SCALE)



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R E S O L U T I O N

A RESOLUTION OF THE COUNCIL
OF THE CITY OF KNOXVILLE
APPROVING THE LONSDALE
REDEVELOPMENT AND URBAN
RENEWAL PLAN PREPARED BY
KNOXVILLE'S COMMUNITY
DEVELOPMENT CORPORATION.

RESOLUTION NO: R-412-05
REQUESTED BY: Community & Neighborhood Services
PREPARED BY: Law
APPROVED AS TO FORM AND
CORRECTNESS: Director of Law
APPROVED: 11-22-05
APPROVED AS
AN EMERGENCY
MEASURE:
MINUTE BOOK 69 PAGE

WHEREAS, on March 29, 2005, the Council of the City of Knoxville approved a
Resolution directing Knoxville's Community Development Corporation ("KCDC") study and
prepare a redevelopment plan for the Lonsdale area and conduct a public hearing to determine the
necessity for the adoption of such a redevelopment plan; and

WHEREAS, the Lonsdale area is generally bounded by I-275 on the east, Louisiana
Avenue and Gerald Drive on the south, Grit Street and Gamecock Avenue on the west, and
Dwight Street and Crozier Street on the North; and

WHEREAS, KCDC has prepared a proposed redevelopment and urban renewal plan;
and

WHEREAS, on November 1, 2005, KCDC conducted a public hearing to determine the
necessity for the adoption of the redevelopment plan for the Lonsdale area pursuant to Tennessee
Code Annotated § 13-20-203b(3); and

1 **WHEREAS**, based upon input from the public hearing and other public solicitation
2 methods, no revisions to the plan were warranted in connection with submission of the plan to
3 the City Council of the City of Knoxville for consideration; and
4

5 **WHEREAS**, a summary of the public hearing has been prepared by KCDC and
6 submitted to the City; and


7 **WHEREAS**, the proposed redevelopment and urban renewal plan has been submitted by
8 KCDC to the City.

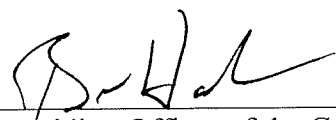
9 **NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF**
10 **KNOXVILLE:**

11
12 **SECTION 1:** The Lonsdale Redevelopment and Urban Renewal Plan, as presented to
13 the Council of the City of Knoxville on the date hereof, is hereby approved.

14 **SECTION 2:** The City Recorder is hereby directed to file a copy of said Lonsdale
15 Redevelopment and Urban Renewal Plan with the minutes of this meeting of the Council of the
16 City of Knoxville.

17 **SECTION 3:** This Resolution shall take effect from and after its passage, the welfare of
18 the City requiring it.
19

20
21
22
23 
24 Recorder

25
26
27
28


Presiding Officer of the Council

The background of the slide is a faded, light-colored map of the Lonsdale neighborhood. The map shows a grid of streets with various colored areas representing different land uses or property boundaries. There are green areas, yellow areas, and some blue areas. The map is oriented with North at the top.

Lonsdale Neighborhood Plan

August 2005

**Prepared by:
Knoxville-Knox County Metropolitan Planning Commission**

Lonsdale Neighborhood Plan

August 2005

Knoxville-Knox County Metropolitan Planning Commission
Mark Donaldson, Executive Director

This plan is a result of a team effort, including the following:

Metropolitan Planning Commission:

Mike Carberry, Anne Wallace, Jeff Archer, Sarah Powell, and Tim Kuhn

Knoxville Community Development Corporation:

Dan Tiller

City of Knoxville Community Development Division:

Kevin DuBose and Rogers Doughty

East Tennessee Community Design Center

David Watson and Frank Sparkman

Lonsdale Community Design Charrette

April 19, 2005

New Friendship Missionary Baptist Church

1933 Texas Ave, Knoxville, TN 37921

Participants:

Alvin Nance – KCDC

Bob Becker – City Council

Lt. Cindy Gass – KPD

Prof. David Fox – UTCA&D

Rev. David Walker – Lomax Temple AME Zion

David Watson – ETCDC

Frank Sparkman – Sparkman Assoc./ETCDC

Jackie Mayo – Knox Housing Partnership

Jerry Ledbetter – City of Knoxville

Rev. Joe Smith – New Friendship Missionary Baptist Church

Gwen Winfrey – PNI

Joe Walsh – City of Knoxville

Mike Carberry – MPC

Prof. Mark Schimmenti – UTCA&D/Facilitator/ETCDC

Peggy Thompson – Community Representative

Renee Kesler – AmSouth Bank/ETCDC

Chief Robert Pressley – KFD

Ric Mixon-Wystwynd Designs/ETCDC

Rogers Doughty – City of Knoxville

Kevin DuBose – City of Knoxville

Anne Wallace - MPC

Lonsdale Neighborhood Plan

Introduction

This brief document is a summary of the concepts presented in the Central City Sector Plan, recommendations from recent Empowerment Zone planning and a neighborhood charrette conducted on April 19, 2005, in which various issues and planning proposals were outlined. The plan was conceived with various Empowerment Zone programs in mind, including the creation of a Lonsdale commercial center and housing development and rehabilitation.

As part of the design charrette held in April 2005, the participants took time to identify what they saw as significant problems and opportunities facing the neighborhood. These issues are outlined as follows:

Needs:

- Traffic calming
- Pedestrian-oriented lighting along streets and alleys; and in public spaces
- Quality recreational spaces
- Buffers between residential and industrial properties
- Gateways (for example, wrought iron arches) to define the neighborhood and pedestrian-oriented space

- Defining on-street parking along Texas Avenue and other streets
- Restrict truck routing, especially along Texas Avenue
- Code and design standards for infill housing
- Continuous sidewalks, especially along Texas Avenue

Opportunities and assets to build upon:

- Churches and their potential for recreation and other social and related ministries
- Infill housing opportunities
- Potential for “Superblock Parks” (Lonsdale School/Park and Sam E. Hill School/Park)
- Truck routing around neighborhood via Johnston & Tennessee Avenues
- Medium intensity uses (not single family housing) may be possible as a transition between I-275/Johnston Street area and the neighborhood
- Mixed use development (for example, residential above retail in commercial core area)
- Redevelopment on ridge (replat and new road system)
- Creeks banks as potential greenways
- Gap Road extension to Texas Avenue
- Greenway buffer around the neighborhood



The manufactured house on the left is an example of infill housing that is out of character with other houses on the block.



Craftsman and Folk Victorian style homes are the typical architectural forms of early Lonsdale. Infill development should complement the features of such architecture. A separate document, Heart of Knoxville Infill Housing Guidelines, has been prepared to assist in the creation of more specific guidelines for Lonsdale.

Proposed Land Use

Source: Central City Sector Plan, 2003

Legend

-  Slope Protection Area
-  Low-Medium Density Residential
-  Medium Density Residential and Office
-  Parks and Public Open Space
-  Stream Protection Area
-  Other Open Space
-  Agricultural/Rural Residential
-  Low Density Residential
-  Medium Density Residential
-  High Density Residential
-  Mixed Use
-  Commercial
-  Neighborhood Commercial
-  Office
-  Public Institutional
-  Light Industrial
-  Heavy Industrial
-  Technology Park
-  Business Park
-  Transportation



Proposed Land Use

The proposed land use plan for the Lonsdale area (see the map on the opposite page which has been extracted from the Central City Sector Plan), includes the following concepts:

- the conservation of the low density residential area, largely defined as the neighborhood north of the AmeriSteel industrial yards
- a mixed use area along Texas Avenue between Sherman and Stonewall Streets (adjacent to the newly renovated Lonsdale Homes)
- a greenbelt and open space system, separating the neighborhood from the adjacent industrial uses
- the ongoing use of Lonsdale Homes as a medium density residential component of the neighborhood
- the conservation of the slopes on Sharps Ridge.

Lonsdale residents pointed out that new single family housing and commercial/industrial development has not always been compatible with the historic setting and architectural features of the neighborhood. Sector plan policies were outlined to conserve and strengthen the character of existing residential neighborhoods. In the case of Lonsdale, these include:

- Infill development shall be compatible in scale, setbacks, foundation height and architectural style with surrounding housing.
- Incompatible nonresidential uses, such as strip commercial, manufacturing and wholesale uses, should not be expanded into existing neighborhoods. Further,

elimination/relocation of those uses to appropriate zones should be encouraged through the Empowerment Zone and other revitalization programs.

These policies are important because Lonsdale residents have expressed concerns: (1) that modular forms of housing and the orientation of such housing on lots in the neighborhood have not been in keeping with the that historic setting, and (2) that further industrial expansion into the neighborhood will negatively impact Lonsdale's stability.

An example of the kind of condition that is sometimes seen along Lonsdale streets is depicted in Figure 1. That type of infill development should

be avoided. The historic housing forms, with their porches, steeper roof pitches and several feet of foundation height, should be used as a basis of infill housing design (see the photographs on page 3).

In-fill development should be designed in a complementary manner to older homes. On occasion such bad examples as this have occurred in older neighborhoods. Problems with some in-fill housing:

- the setback is too deep
- the scale does not complement adjacent houses
- the roof pitch is too shallow
- there is no front porch
- parking in the front yard, rather than off the alley

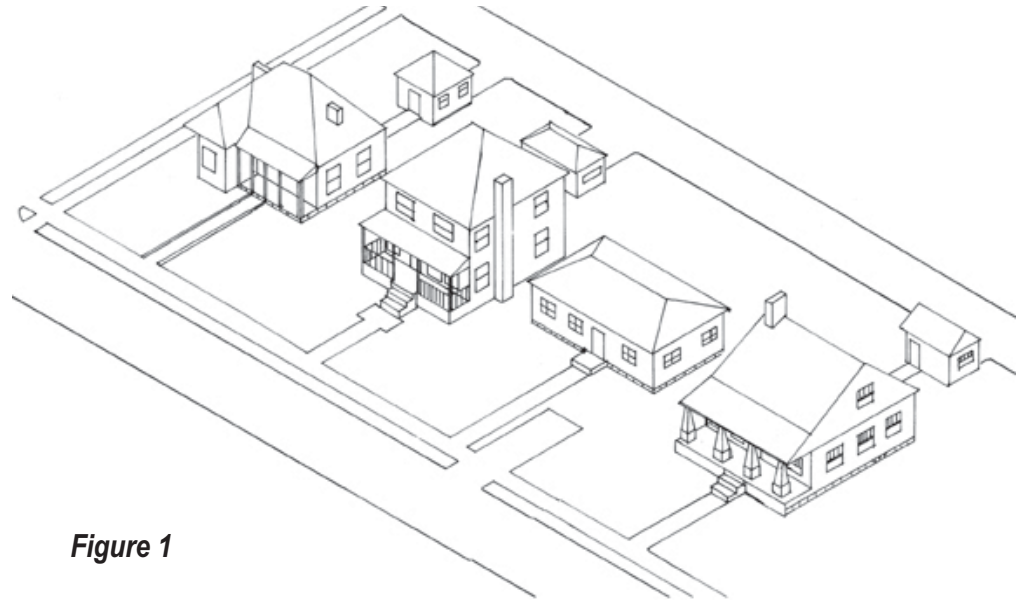


Figure 1

Figure 2

Proposed Neighborhood Commercial Center



A Mixed-use Commercial Center

The concept for the mixed-use center in Lonsdale is depicted in Figure 2. This concept has been refined through more recent Empowerment Zone planning. The mixed-use center is conceived to include commercial uses at ground level with apartment or office uses on second stories. Additionally, a public square is recommended to be located across Texas Avenue from the commercial center. The square can serve some of the recreation functions that were lost as part of Lonsdale Homes redevelopment. However, it is

not recommended that it be developed for active recreation uses such as court spaces for basketball and similar court games. (Other spaces within the neighborhood are recommended for those purposes; see the following pages.) Townhouses and office uses can be placed around the square, building in a security network in that the residents will be looking over the park.

As part of Empowerment Zone planning, a proposal was put together for the development by a Lonsdale Task Force (see Appendix A.)



An example of a pedestrian-oriented shopping center.

Lonsdale Neighborhood Center (Key for Figure 2):

1. Commercial Center: 20,000 square feet at ground level is depicted here. A tower or another similar feature should be constructed on axis with Gap Road and the Lonsdale Green.
2. Corner Uses (Mixed Use): commercial, office, or civic functions should be on the first floor with housing above.
3. Lonsdale Green: a passive park framed by street trees and town homes, should be surrounded by one-way through streets that have on-street parking to slow traffic allowing for pedestrian accessibility.
4. Town homes with garages accessible from the alley produces separation of different uses and private space for the individual units.
5. Library or other publicly oriented civic use should be on this site.
6. Brittany Daniels Memorial Park: dedicated to a young lady who was killed in 1996. Incorporate seating and landscaping for public use and remembrance. It should be screened from the adjacent parking by a low brick or other decorative wall.
7. Church expansion area

The nature of this development should be oriented to pedestrians and consist of retail, restaurants, offices, commercial businesses, and /or residential units. In order to make pedestrians safer and to calm traffic, on street parking is recommended.

Other Park Improvements

The greenway concept of the sector plan should be expanded to include a buffer between AmeriSteel, Northwest Industrial Park and the neighborhood. The greenway should be extended through an open space system that protects the steep slopes of Sharps Ridge. In realizing this objective, a “greenbelt” will surround the neighborhood, providing recreation, environmental protection (for example, erosion control on the ridge) and buffering from uses

that are incompatible to the residential setting. Greenways should also be created along the creeks providing a link to the schools and parks.

A “super block park,” combining Lonsdale Elementary School and Lonsdale Park should be created. Steps are underway to vacate Bragg Street and combine these two assets together. Furthermore, the City’s Department of Neighborhood and Community Services and Knox

County School Board have begun to discuss the creation of a new gymnasium/public recreation center as an expansion of Lonsdale Elementary School. The concept for the new Lonsdale Neighborhood Park is depicted in Figure 3.

The recreational facilities that were lost in Lonsdale Homes renovation need to be replaced. One potential site is part of the greenway near AmeriSteel.

Figure 3



Proposed Neighborhood Park (Key for Figure 3):

- | | | |
|--|--------------------------------------|---|
| 1. Proposed Community Center Adjacent to School (based on Christenberry Heights Recreation Center model) | 2. Bubbler Fountains or “spray park” | 4. Reuse as public facility (potential Senior Center) |
| | 3. Playgrounds | 5. Renovate Picnic Area and Shelter |

Transportation Improvements

Citizens have been very concerned about alleviating truck traffic in the neighborhood, providing better sidewalk connections and creating gateways, separating the neighborhood from surrounding land uses. In response to those concerns, the following are proposed:

- providing truck routes using Johnston Avenue and an extension of Tennessee Avenue and the new alignment off of Texas Avenue into AmeriSteel as the sole means to reach industrial operations
- providing gateways to the Lonsdale neighborhood along Texas Avenue west of Johnston Street and at the western edge of Lonsdale Homes. These gateways should include traffic calming devices and such features as the obelisks (used in Fort Sanders) or wrought iron arches that clearly note that a pedestrian district is being entered and define the neighborhood as a special district.
- a continuous sidewalk, separated from the roadway, should be built on at least one side of Texas Avenue, providing access to the new Lonsdale commercial center and the transit stops along the avenue



The obelisks pictured above denote the entrance to the Fort Sanders neighborhood and clearly define the neighborhood as a pedestrian district. Such a design is one possibility for Lonsdale's gateways.

- other streetscape improvements should include street trees along Texas Avenue and other streets of the neighborhood
- Gap Road related improvements: there should be improvements to route the traffic around the proposed park at Ohio Avenue, providing a clear view of the proposed Texas Avenue connection. This linkage has potential significant implications as future development is undertaken north of Texas Avenue.

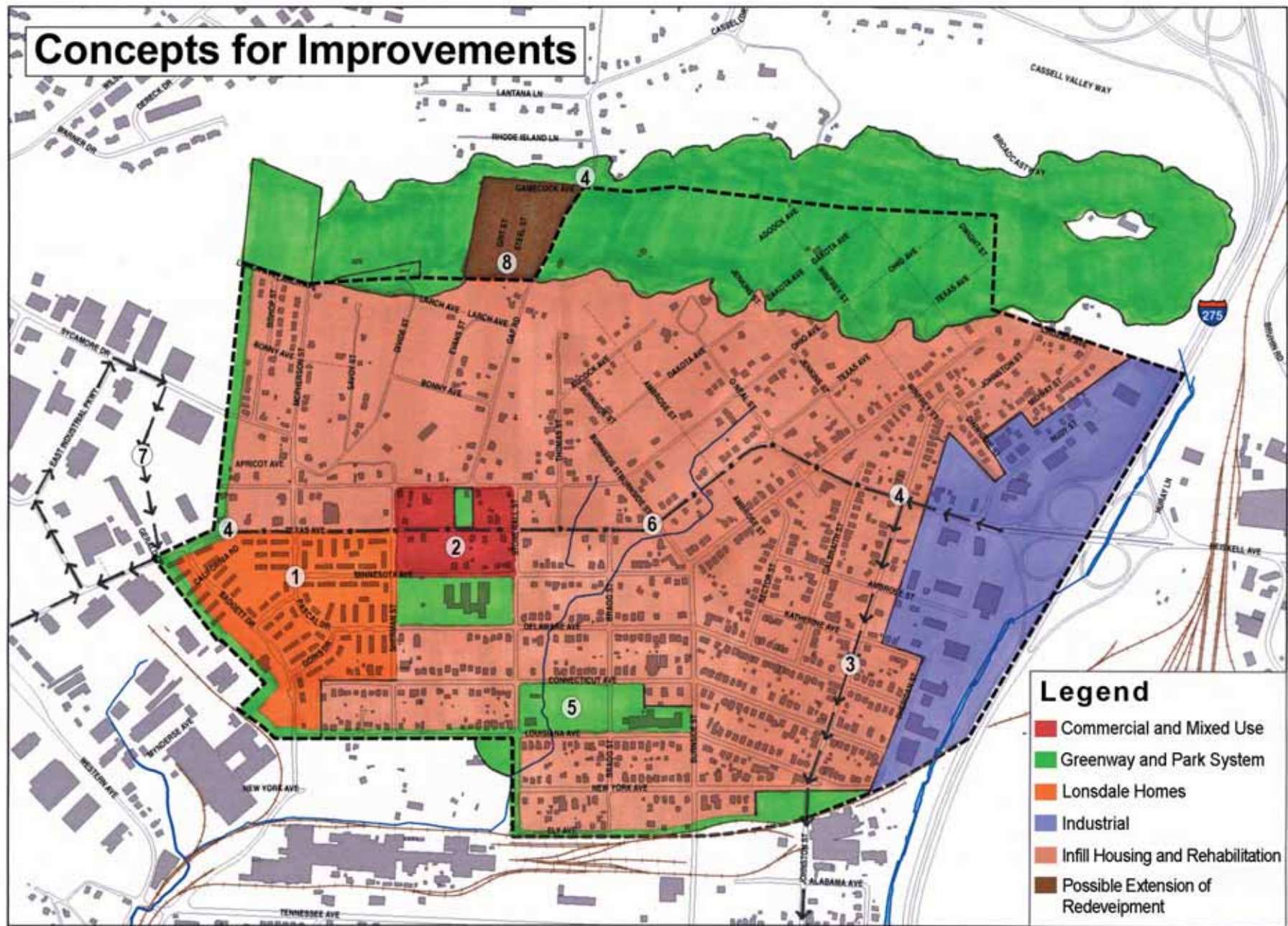
A Range of Empowerment Programs

In addition to the commercial center development, other Empowerment Zone programs should be directed to the neighborhood. These include:

- the blighted property removal program
- the housing rehabilitation program
- the infill housing program

With the level of investment that has gone into the renovation of Lonsdale Homes and that will be directed to the commercial center, it is recommended that these programs be used comprehensively in the vicinity of Stonewall, Texas, Minnesota and Ohio Avenues.

Furthermore, it is recommended that consideration be given to a comprehensive program that would link all the Empowerment Zone and all related city programs together in this area with the request for proposal process that addresses these comprehensively.



Redevelopment Area and Related Problems

The City, Empowerment Zone planners and KCDC staff worked with the community in creating the concepts for the plan. One of the major implementation measures is the creation of a redevelopment area. This area is depicted to the left. The redevelopment area will allow the commercial center development steps to proceed, such as land assemblage of the vacant and underutilized parcels along Texas Avenue, the creation of infill housing programs and a means to establish the open space buffer around the neighborhood.

An additional portion of the redevelopment area is the substantially undeveloped area north of

Ohio Avenue (see Appendix B.) Many of the roads and alleys that appear on plats have never been developed in this area (see Appendix C.) Furthermore, there are infrastructure problems in terms of storm drainage. It is an area where tax delinquencies run extremely high.

To remedy this situation, it is recommended that the City explore a long-term program of redeveloping this section of the neighborhood by addressing the following:

- examining a road system that runs with the topography rather than against the hillside
- an evaluation of the infrastructure needs of the area, including storm drainage, water and sanitary sewer

- an evaluation of maintaining the existing homes that are in good condition by routing the new street system to take those into account
- the creation of greenway spaces along the creeks that run down from Sharps Ridge
- an examination of a tax increment financing mechanism that could pull this area together as a comprehensive redevelopment area over the next 15-20 years.

Concepts for Neighborhood Improvements

1. Continued renovation to Lonsdale Homes
2. Mixed-use development proposal (see Figure 2)
3. Johnston Street improvements such as street trees, other landscaping and building rehabilitation programs.
4. Arched gateways or similar “Welcome to Lonsdale” entries (separating trucks from the neighborhood)
5. Lonsdale Park renovation (see Figure 3)
6. Primary sidewalk and street improvements (continuous sidewalks, street trees, and selected areas for on-street parking)
7. Recommended new route to serve pallet company and adjacent industrial properties
8. Potential expansion of redevelopment area (consideration of medium intensity housing).

Other Concepts:

- There is a need for screening or relocation of commercial uses that do not serve neighborhood needs; such uses as towing service and junk yards.
- Some portions of the redevelopment area, such as the intersections of Minnesota Avenue and Johnston Street with Heiskell Avenue, are zoned for neighborhood-serving commercial uses. As improvement programs are developed, particularly the Lonsdale Commercial Center and Heiskell Gateway concept, residential re-zoning should be considered. No housing rehabilitation should be undertaken on property which is not zoned for residential purposes.

Appendix A: Proposal for the Lonsdale Commercial Center, April 23, 2004

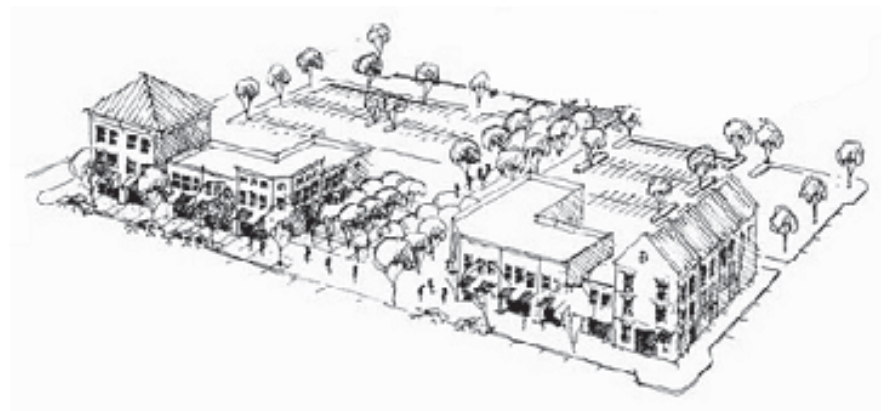
Summary Of Recommendations

The Lonsdale Task Force recognizes that the success of retail development can be best assured by a central location along Texas Avenue. The recommended site is the block, bounded by Texas and Minnesota Avenues and Sherman and Stonewall Streets. There are several reasons in recommending this site: a multi-million dollar renovation at the adjacent Lonsdale Homes; additional rehabilitation and infill housing that can be accommodated on the surrounding blocks; and improvements in schools, parks and streets that can complement this commercial project. This location offers the potential to create a neighborhood commercial center within the heart of the residential area and with the greatest opportunity to provide a customer base within easy walking distance.

The Task Force recommends that the commercial development be created in a mixed-use setting, allowing for opportunities for retail development at ground level with office and/or residential uses on upper levels.

The highlights of the recommendation are as follows:

1. The development of a retail center on Texas Avenue between Sherman Street and Stonewall Street with the opportunity for upper-story mixed uses
 - a. The land area for this center should be approximately 4.2 acres (the total area within the block)
 - b. The grocery store should be in the range of 5,000 to 10,000 square feet, capable of carrying most day-to-day goods.
 - c. An additional 20,000 to 30,000 square feet of building space should be created for neighborhood-serving commercial and office uses; those preferred by Northwest Zone Area Council participants are:



Commercial Uses:

- Fabric store
- Family restaurant
- Pizza Parlor
- Deli
- Barber/beauty shop
- Video Store
- Dry cleaning service
- Sports grill that offers entertainment and recreation

Office Uses:

- Payment center to pay utility bills, phone bills and the like
 - Business incubator training office
 - Vocation center for GED classes
 - Satellite health care facility
 - Community meeting space
- d. Opportunities for office uses can be considered as part of second story development

Background And Public Participation

The Lonsdale Task Force held an initial meeting on September 23, 2003 to discuss the development of a commercial center within Lonsdale. Ideas and recommendations developed by the Empowerment Zone (EZ) Northwest Zone Area Council (ZAC) specifically for a neighborhood commercial center within Lonsdale were reviewed. A public meeting was held on October 6, 2003 to gather citizen input on the location of and services to be included as part of the commercial center. The Task Force recommended that the staff of MPC and the City's Department of Development conduct further study of the existing conditions of Lonsdale and the redevelopment tools needed for neighborhood vitality.

Staff from MPC and the City's Department of Development worked together for three months to study the entire Lonsdale neighborhood in relation to the EZ-driven proposed neighborhood commercial center. This study included the existing conditions regarding vacant properties, building conditions, delinquent property taxes, road conditions and environment constraints. The staff also looked to the recently adopted Central City Sector Plan for concepts and proposals that would positively affect Lonsdale. These include the following neighborhood revitalization proposals: a new mixed-use neighborhood commercial center, architecturally appropriate infill housing and rehabilitation of existing housing, development of parks, and a greenbelt buffer surrounding the adjacent industrial areas and streetscape improvement that would include sidewalks, street trees and traffic calming. The Central City Sector Plan proposes a mixed-use district in the area adjacent to the Lonsdale Homes (currently under extensive renovation.) Texas Avenue would serve this mixed-use development and would be anchored by a newly constructed neighborhood-serving grocery that would be located on Texas Avenue between Sherman and Stonewall Avenues.

The Lonsdale Task Force met again on January 22, 2004 to review maps and related material developed by staff that shows the existing conditions

and the plan proposals for Lonsdale. In turn, the Task Force recommended that the mixed-use commercial center be located on Texas Avenue between Sherman and Stonewall Streets. A second public meeting was held on February 17, 2004 to give residents of Lonsdale another opportunity to comment on the services and the proposed location of the commercial center. The public was in favor of the Texas Avenue location. They agreed that the center should front Texas Avenue, but expressed the need for improvements to Texas Avenue. The public was enthusiastic about the proposed mixed-use development that could combine commercial uses with office and residential. This planning process has been community driven with the EZ Northwest ZAC being instrumental in providing a voice to and hearing Lonsdale citizens.

Site Plan Characteristics

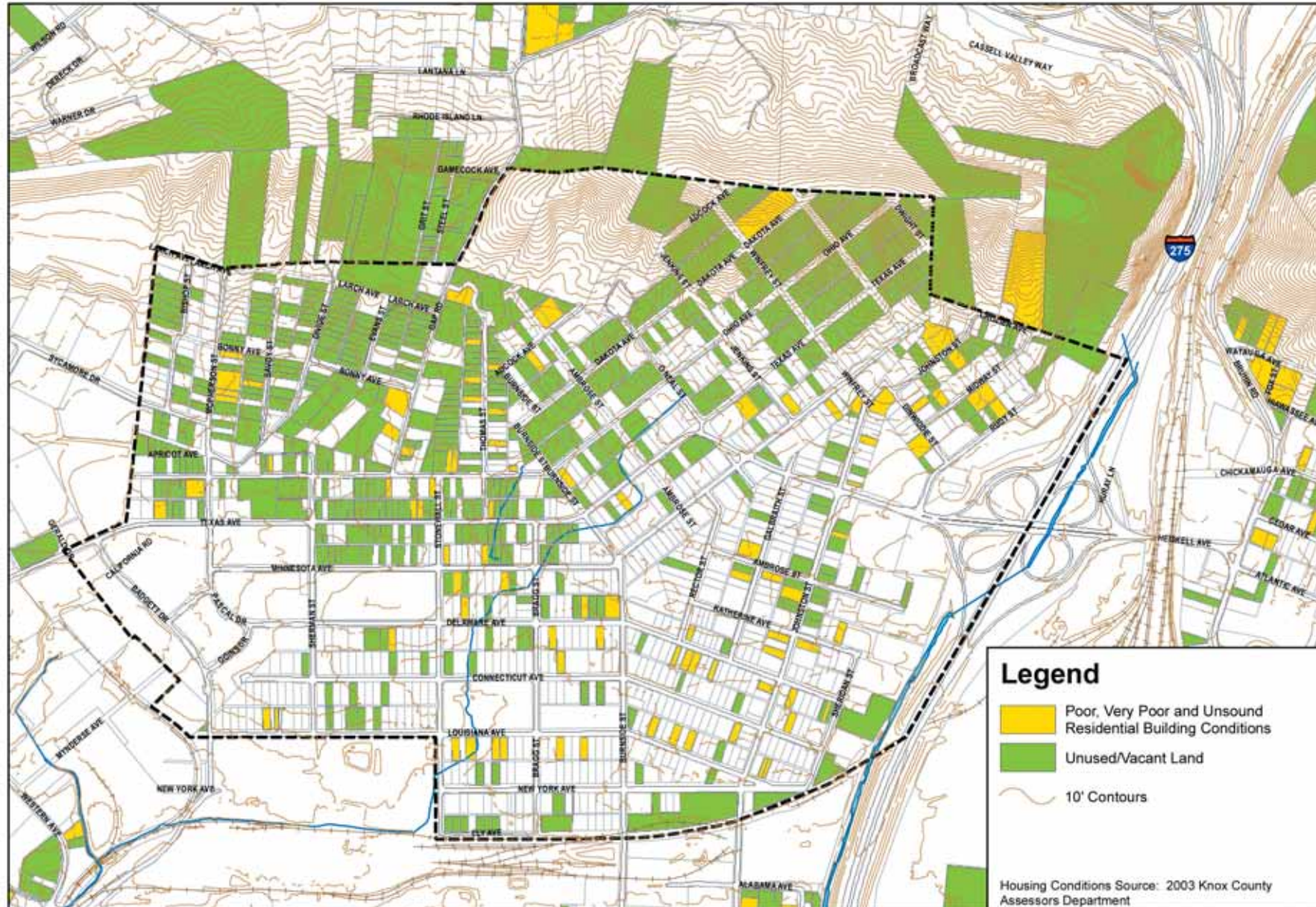
The principles that should be used in guiding the development of this area are outlined below:

- Provide the opportunity for mixed-use, multi-story development: the proposal process that is used to select a potential developer should recognize the opportunity for a vertical mix of uses with retail at ground level and apartments or office uses on upper level(s). In addition to creating slightly higher intensities of uses in the area (thereby offering more immediate support to the commercial enterprises), the presence of people living above stores offers a public safety dimension to the development (providing residents a view of what is happening on the sidewalks and street).
- Create a pedestrian-friendly setting for the development: wide sidewalks (10 to 14 feet in width) should be constructed in front of the commercial development. Street trees should be planted along the block. Traffic calming measures should be incorporated into the design (including on street parking, initially and such features as raised or textured crosswalks as the park and other housing is developed).
- Off-street parking should be located to the side or behind the retail development.

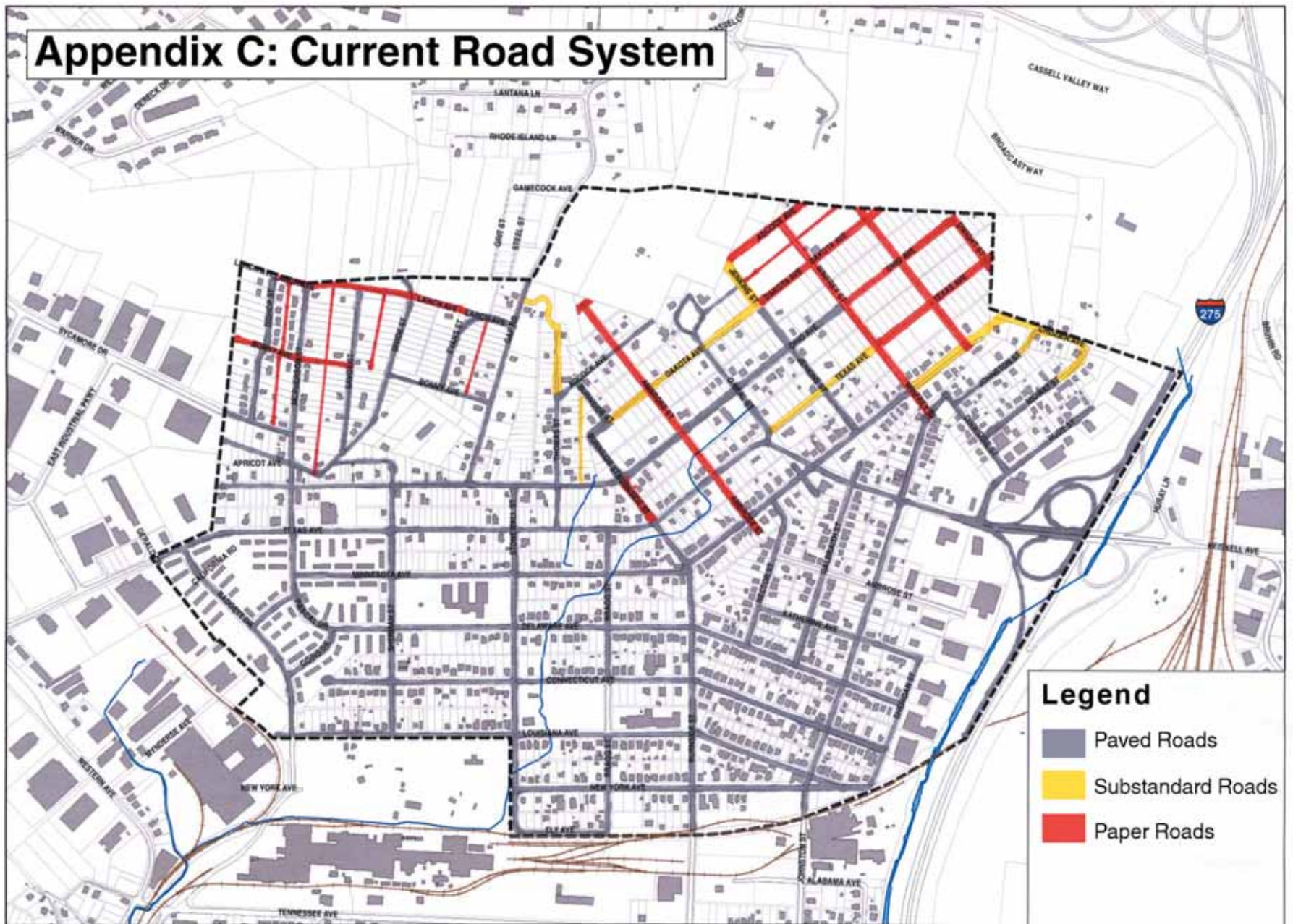
Recommended Items To Be Included In The Request For Proposals

1. The potential developer should be required to provide a narrative description of the strategy that they will use to insure that EZ minority-owned businesses are utilized in the project (addressing such aspects as construction contracting, operations and ownership).
2. A statement that tells the potential developer that \$35,000 per job creation may be available to the developer as a subsidy from EZ funds.
3. The developer should be encouraged to create a mixed-use development by stating that preference will be given to such proposals (an allocation of EZ or other housing program funding should be considered in fostering the residential portion of the mixed use development).
4. The potential developer should illustrate through a conceptual site plan the components of the proposed development, including the types of uses, the square footage for each commercial or office establishment, the proposed layout of buildings, parking, sidewalk and landscaped areas.

Appendix B: Implications for Housing Improvements and Open Space



Appendix C: Current Road System







HEART OF KNOXVILLE INFILL HOUSING DESIGN GUIDELINES

Knoxville • Knox County Metropolitan Planning Commission
and
The East Tennessee Community Design Center



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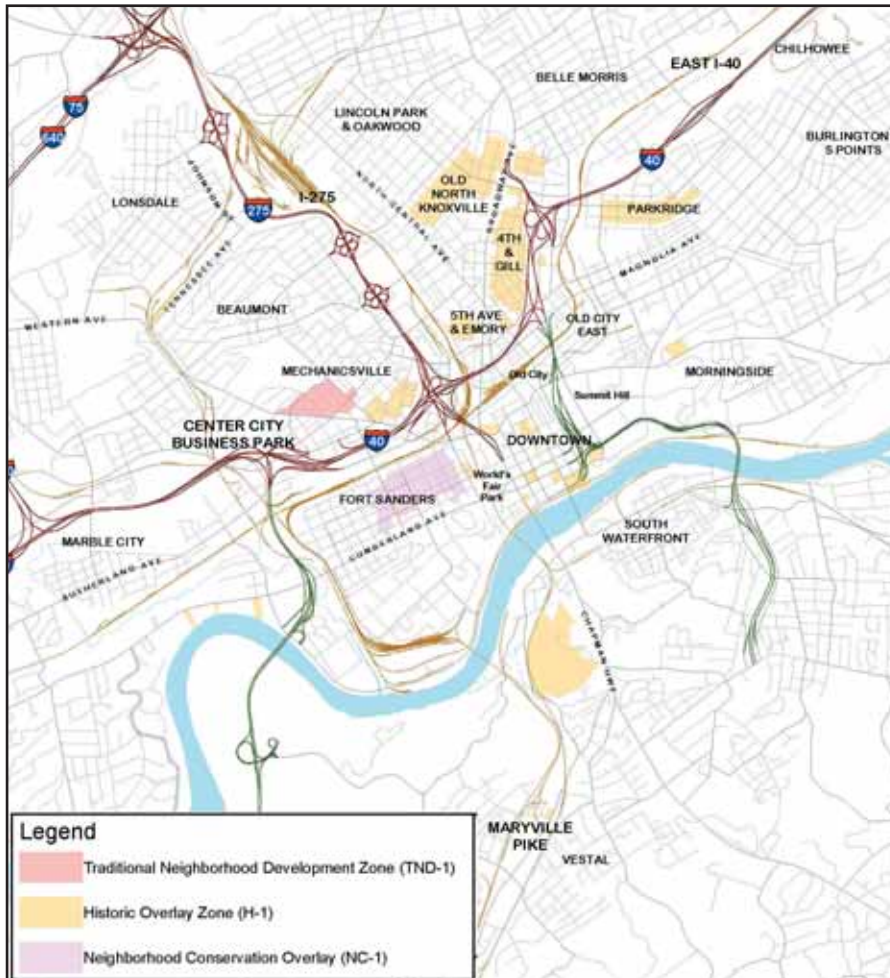
and Friends of the Design Center

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Introduction to design guidelines



map: "Heart of Knoxville" with zoning overlays (credit: Metropolitan Planning Commission)

Neighborhoods are generally created at points in time which certain architectural styles are "en vogue." The original houses of most neighborhoods were designed with similar materials, features (such as porches), proportions, height, and yard dimensions. Consequently, architectural harmony was created early on. As houses were lost to fire or demolition and vacant lots became available, new construction was created without regard to the architectural context of the other structures on the block.

For the past few decades, the construction of new houses on these vacant lots - infill housing - has often been incompatible with the historic features in neighborhoods of the late 1800's to 1950's. Inappropriate infill has been a problem in the "Heart of Knoxville" neighborhoods, particularly along the old system of grid streets in such places as Park City, Oakwood, Lincoln Park, Five Points, Lonsdale, Beaumont, and South Knoxville (see map to left). As a result of the increasing concern for the historic integrity of these neighborhoods, the Heart of Knoxville Infill Housing Guidelines have been created.

The purposes of these guidelines are to re-establish the architectural character of those historically valuable properties with new housing that is architecturally compatible; to foster neighborhood stability; to recreate more pedestrian-oriented streets; and to meet a wide range of housing needs. These guidelines should be used to understand the major elements of architectural compatibility and promote housing designs that are usable and economically achievable. These guidelines have been created to apply to areas where there are no historic or neighborhood conservation zoning overlays or Traditional Neighborhood Development district zoning (see map to left). Those areas already have specific guidelines for infill and vacant lot development; the guidelines for those districts are available through the Metropolitan Planning Commission.

Design Guidelines

Use the following checklist to determine appropriateness of proposed infill house design for the Heart of Knoxville. For each unchecked item, please refer to the appropriate “Heart of Knoxville Infill Housing Design Guidelines” section.

Front Yards

reference section 1, page 11

- ☐ Setback and front door are in line and consistent with original houses on the block.
- ☐ Porch and habitable portion of house is offset from street equal to neighboring houses.
- ☐ Walkway is proposed from sidewalk (when available) to front door, perpendicular to street.
- ☐ Fencing is constructed of traditional materials and excludes chain link, masonry, wide boards, and other contemporary materials.
- ☐ Healthy trees are marked for preservation.

House Orientation and Side Yards

reference section 2, page 12

- ☐ Proposed infill is proportional to dimensions of lot and original houses on the block.
- ☐ Proposed infill on corner lots has applied for any necessary zoning variance to locate closer to side street.
- ☐ Proposed infill keeps the spacing between houses consistent with original houses on the block.

Alleys, Parking, and Services

reference section 3, page 13

- ☐ Proposed parking avoids the front yard.
- ☐ Proposed infill house has access from alley only (where available) for garage or parking pad.
 - ☐ Where unavailable, proposed garage or parking pads extend 20 feet beyond front façade of proposed infill house.
- ☐ Proposed garages accessed by alley are setback at least 18 feet from centerline of alley pavement.
- ☐ Proposed parking pads, utility boxes, and waste collection points are visually screened by landscaping and/or fencing.

Scale, Mass, and Foundation Height

reference section 4, page 14

- ☐ Proposed infill elevation is proportional in scale to original houses on the block.
- ☐ Proposed infill façade respects width of older houses on the block.
- ☐ Proposed infill attempts to incorporate historic elements of block into design.
- ☐ Foundation height is consistent with original houses on block.
- ☐ Additions that cannot conform to scale and height of streetscape are located to the side or rear of infill lot.

Porches

reference section 5, page 15

- ☐ Proposed infill includes plans for a porch in a neighborhood where porches are dominant.
- ☐ Proposed porch is proportional to existing porches on block.
- ☐ Proposed porch maintains consistency with existing porches in setback along the street.
- ☐ Proposed porch materials and details complement the historic character and style of neighborhood (refer to appendix).

Windows and Doors

reference section 6, page 16

- ☐ Proposed window and door styles complement historic character and style of block (refer to appendix).
- ☐ Proposed window or door positioning does not violate the privacy of neighboring homes.
- ☐ Proposed infill excludes contemporary window styles in pre-1940 areas.
- ☐ Proposed infill respects window & door placement of older houses on block.

Checklist

Roof Shapes and Materials

reference section 7, page 18

- Proposed infill specifies similar pitch to existing houses on block.
- Proposed infill respects complex roof forms of historic blocks (refer to appendix).
- Proposed infill for a pre-1940 neighborhood specifies darker shades of shingle roofing.

Siding Materials

reference section 8, page 19

- In a neighborhood dominated by painted wood siding, the proposed infill specifies clapboard or similar substitutes.
- In a neighborhood with mixed architectural styles, the proposed infill specifies appropriate material and detail.
- The proposed infill excludes faced stone, vertical siding, and other non-historic materials.

Additions

reference section 9, page 20

- Proposed additions to existing houses respect siding and roof materials, as well as door and window styles original to the house.
- Proposed window or door replacements should respect original style (refer to appendix).
- Proposed additions are located to the side or rear of original house.
- Proposed additions which require additional height are located to the rear of the house.
- Specified roof line and roofing materials for proposed addition respect original house.
- Proposed addition does not violate openness or character of front porch.

Multi-unit Housing

reference section 10, page 21

- Proposed multi-unit housing respects traditional front yard setbacks of neighborhood.
- Proposed multi-unit housing respects height of original houses in neighborhood.
- Proposed multi-unit housing respects rhythm and proportion of historic homes on block.
- Proposed parking for multi-unit housing accesses existing alleys.
- Proposed housing specifies landscaping to include shade trees, in front and back yards.

Landscape and other considerations

reference section 11, page 22

- For proposed infill with 25 feet or greater front yard depth, at least one shade tree is specified for planting.
- Specified fencing and/or hedges will not exceed 42 inches in height in front yard.
- Front yard fences avoid chain link and specify appropriate historic material.

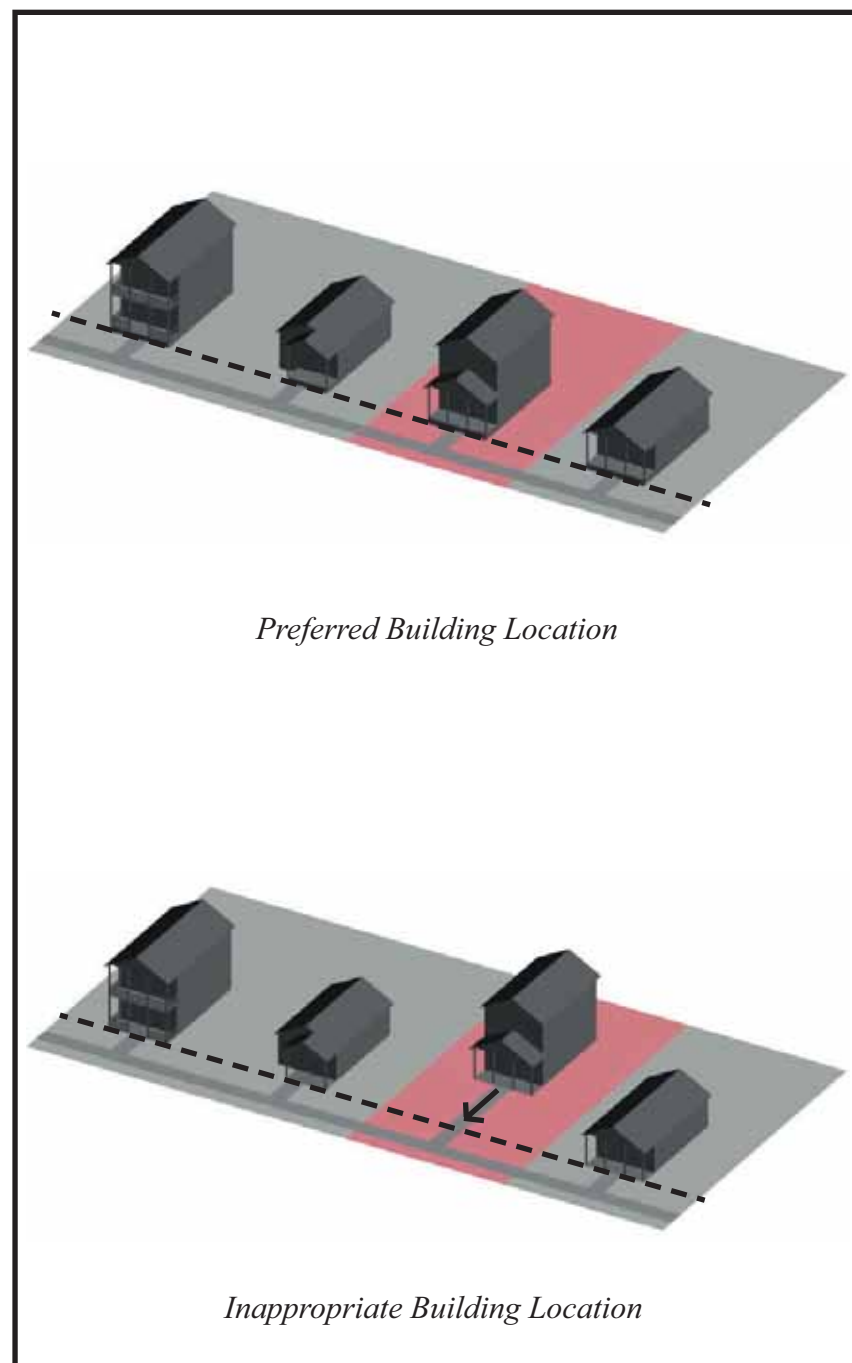
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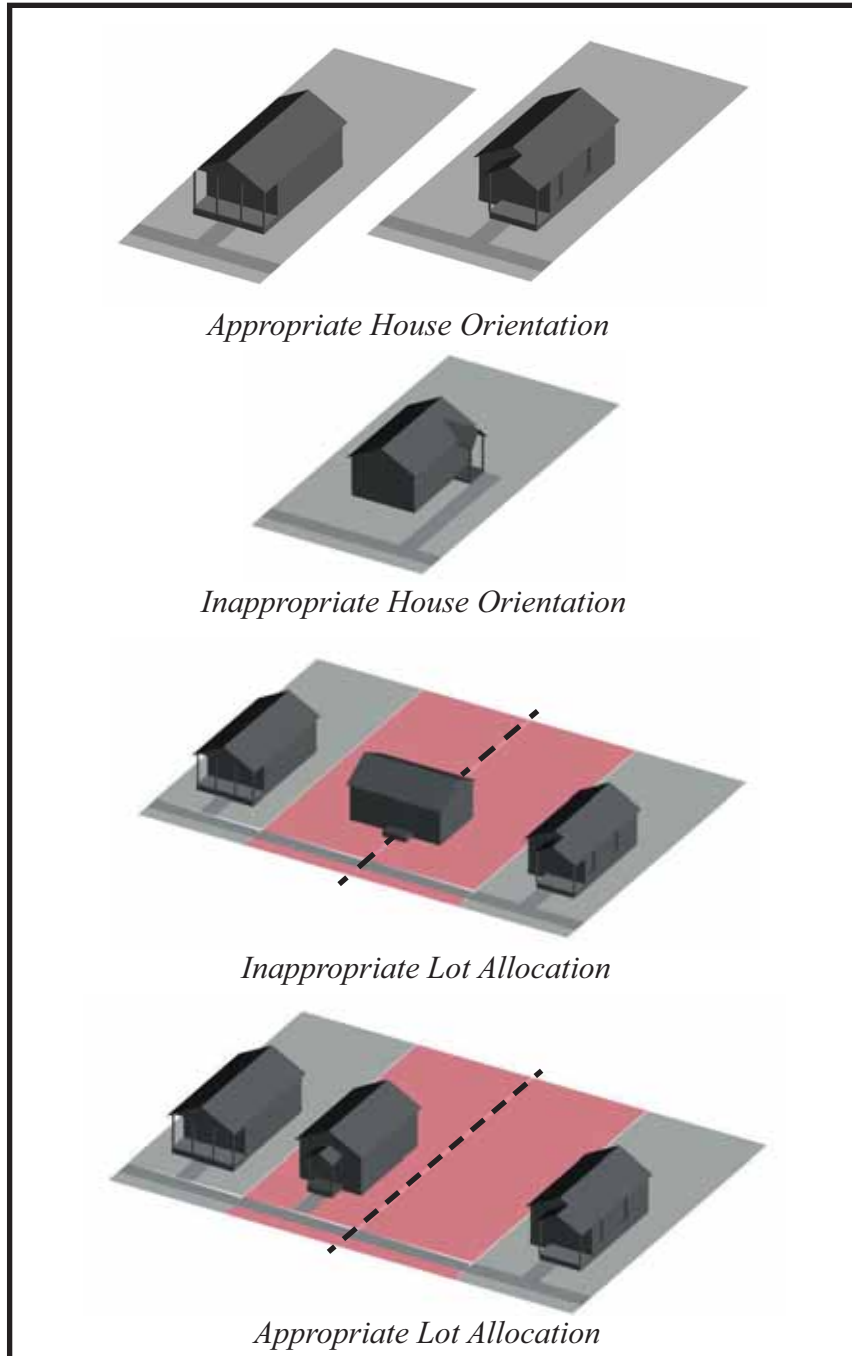
Front yards

Front yard space was consistent from house to house with porches being located about the same distance from the street. Although there is variation in some blocks, a twenty-five foot setback to the front door is very common. Lawns and an occasional shade tree were found on virtually all lots.

Infill guidelines

- Consistent front yard space should be created along the street with the setback of a new house matching the older houses on the block.
- When several infill houses are sited, porches and the habitable portion of each house should be about the same distance from the street as the original houses.
- A walkway should be provided from the sidewalk or street to the front door. Along grid streets, the walk should be perpendicular to the street.
- Fences that are constructed of traditional materials, such as picket fencing, may be used to define the front yard. Chain linked, masonry, wide boards and other contemporary fencing should be used only in backyards.
- Healthy trees that are outside the building footprint should be preserved. The root area should be marked and protected during construction.





2

House orientation and side yards

The typical city lot prior to 1930 was 50 feet wide. This dimension led to the development of houses which were relatively narrow and had substantial depth. Craftsman style homes are good examples of this characteristic. Because of this characteristic, side yards were relatively narrow.

Toward the mid-20th century, the increase in lot width was reflected by the development of the Ranch house.

Infill guidelines

- New housing should be proportional to the dimensions of the lot and other houses on the block.
- On corner lots, side yard setbacks should be handled traditionally (that is, closer to the side street). The zoning requirement to treat corner lots as having two frontages should not apply in “Heart of Knoxville” neighborhoods.
- Side yard setbacks should be similar to older houses on the block, keeping the rhythm of spacing between houses consistent.
- On lots greater than 50’ in width, consider re-creating the original lot size.

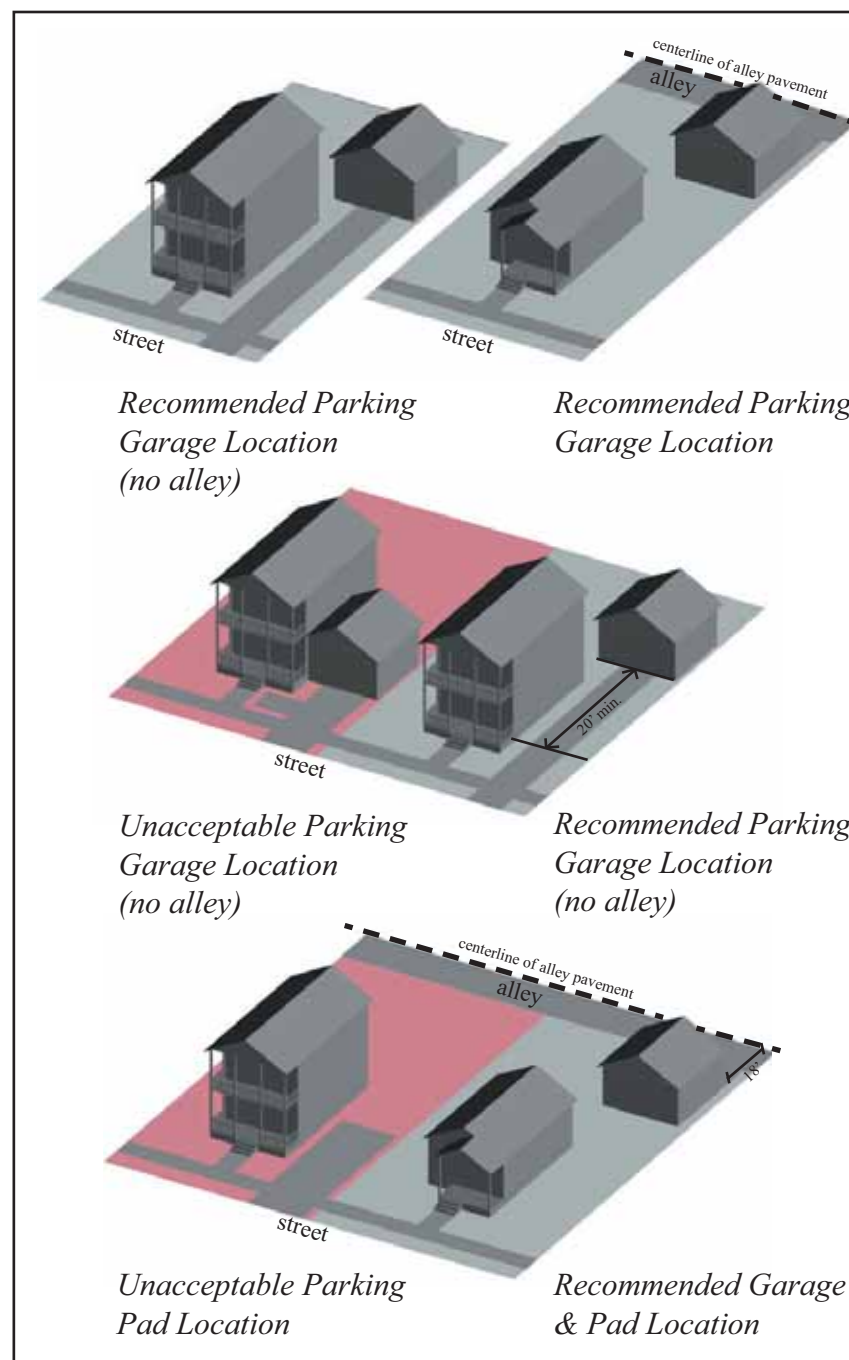
3

Alleys, parking, and services

Alleys should serve two significant purposes: (1) accommodation of such services as utilities and garbage collection, and (2) access to off-street parking including garages and parking pads. A large proportion of the “Heart of Knoxville” neighborhoods have alleys. Unfortunately, such standards as setbacks for garages, types of materials for parking pads and encouragement of alleys for off-street parking are lacking. With infill development, the use of alleys for parking access is necessary.

Infill guidelines

- Parking should not be in front yards.
- Alley access should be used for garage or parking pad locations. On level ground, pea gravel or similar material may be used as a parking pad off alleys.
- On streets without alleys, garages or parking pads should be at least 20 feet behind the front façade of the infill house with access limited to one lane between the street and front facade.
- Garages which are perpendicular to the alley should be about 18 feet from the center line of the alley pavement, allowing a comfortable turning radius for a driver to enter a garage.
- Alley-oriented parking pads, garbage collection points, and utility boxes should be screened with a combination of landscaping and fencing.
- On those streets which have alleys, driveways should not be permitted from the front of the house.
- On corner lots, a driveway to the garage may be provided off the side street.

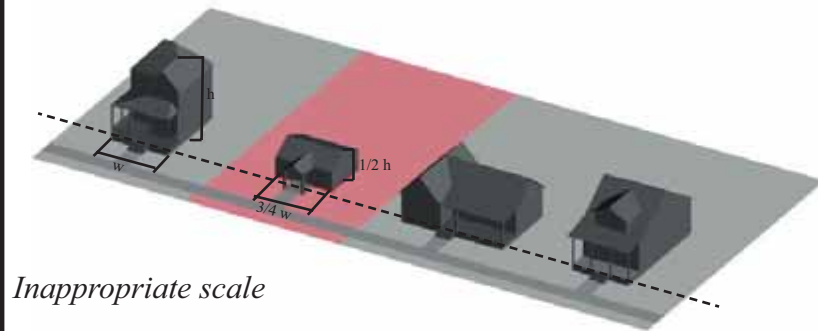


4

Scale, mass, and foundation height

The scale of early homes was generally consistent from one house to another; especially foundation heights, proportions of first floor elevations, and sizes and shapes of roofs. Sometimes, a one and one-half story house might be found next to a two story house but the essential elements of similar foundation height and façade characteristics created homes that tried to look tall and resulted in architectural compatibility. When a house is built on slab with a low pitch next to a traditional older house, the proportions of the two houses clash, resulting in an absence of architectural harmony. The following principles are critical in maintaining historic and property values.

Appropriate scale



Inappropriate scale



Scale of infill does not match scale of block

Infill guidelines

- The front elevation should be designed to be similar in scale to other houses along the street.
- The front façade of new houses should be about the same width as original houses on the block.
- If extensions or bays were typically part of the neighborhood's historic house design, such elements should be incorporated into infill housing.
- New foundations should be about the same height as the original houses in the neighborhood.
- If greater height is to be created (with new construction or an addition), that portion of the house should be located toward the side or rear of the property.

5

Porches and stoops

Porches and stoops were incorporated into most house designs in Knoxville prior to 1900, providing a comfortable place to enjoy a summer breeze or to talk with family and neighbors. Later, front porches became less prominent as such styles as Dutch Colonial, Tudor Revival and Ranch houses became popular. Some houses only had small stoops.

Infill guidelines

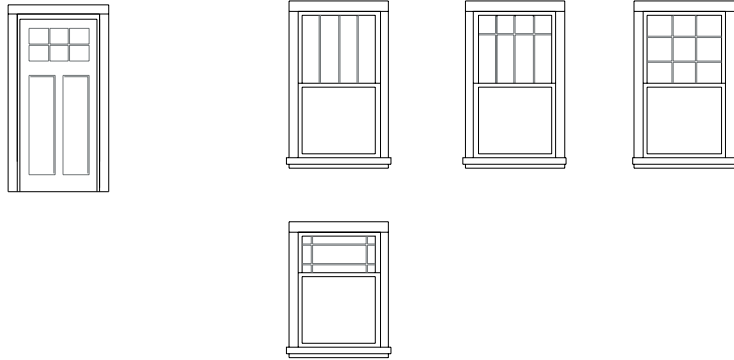
- Porches should be part of the housing design in those neighborhoods where porches were commonplace.
- Porches should be proportional to original porches on the block, extending about 8-12 feet toward the street from the habitable portion of the house.
- Porches should extend into the front yard setback, if necessary, to maintain consistency with similarly sited porches along the street.
- Porch posts and railings should be like those used in the historic era of the neighborhood's development. Wrought iron, "antebellum" columns and other materials that were not used in the early 1900's should not be used.
- Small stoops centered on entry and no more than 5 feet deep are appropriate on blocks where porches were not traditional.



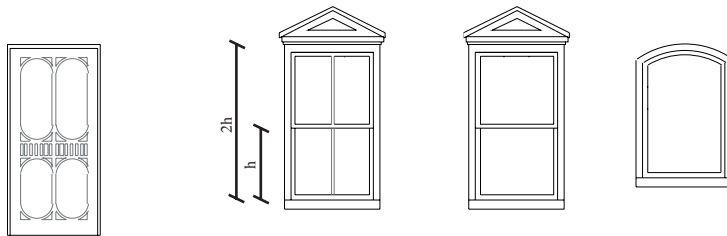
Early Knoxville houses had porches large enough for socializing or stoops to protect front entry- principles that should be respected with infill housing.



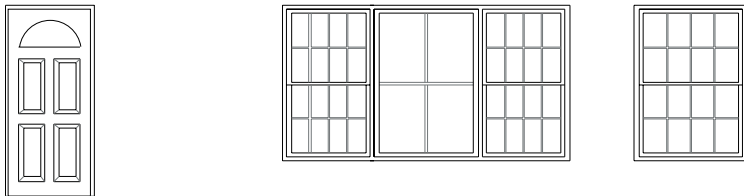
Craftsman



Victorian Era



Minimal Traditional



6 Windows and doors

Every architectural style also has certain distinguishing window shapes and location. For instance, the windows of Victorian-era houses are narrow and tall. Craftsman houses are broader with a multiple paned sash over a one pane sash. When an infill housing design is selected the windows should be similar in scale and design to those of other houses on the block.

Infill guidelines

- In building new housing, the window and door styles should be similar to original or historic housing on the block.
- For privacy sake, side window and door placements should be considered to respect the privacy of adjacent properties.
- The windows and doors of an infill house should be located on the front facade in similar proportion and position as the original houses on the block.



Infill guidelines

- Attention should be paid to window placement and the ratio of solid (the wall) to void (the window and door openings).
- Contemporary windows such as “picture windows” should not be used in pre-World War II neighborhoods.



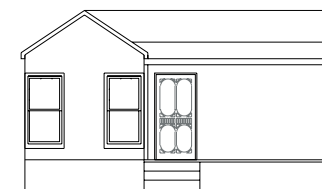
Appropriate Craftsman



Appropriate Folk Victorian



Inappropriate Craftsman



Inappropriate Folk Victorian





7

Roof Shapes and Materials

Steeper roof pitches and relatively darker shingles were common to most historic homes and are a basic consideration in new construction. Less pitch is common in ranch styles, popularized after 1950.

Infill guidelines

- New roofs should be designed to have a similar pitch to original housing on the block
- More complex roofs, such as hipped roofs and dormers, should be part of new housing designs when such forms were historically used on the block.
- Darker shades of shingle were often used and should be chosen in roofing houses in pre-1940 areas.

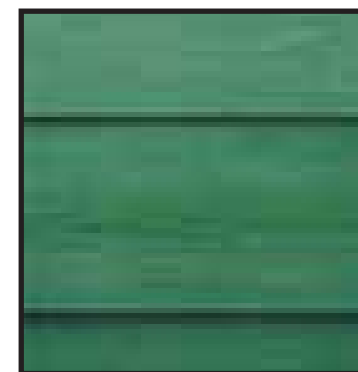
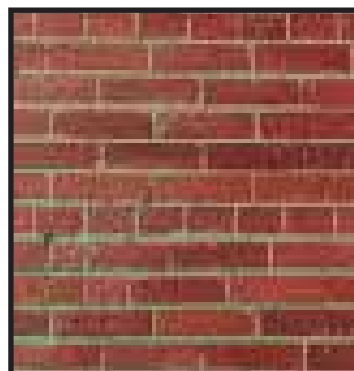
8

Siding Materials

Clapboard and brick were the most common siding. Houses in some neighborhoods, like Oakwood, were almost totally constructed with clapboard. The exterior materials of new construction should be like that of the neighborhood's older or historic architecture.

Infill guidelines

- Clapboard-like materials (such as cement fiberboard) should be used in constructing new housing where painted wood siding was traditionally used.
- Brick, wood shingle, and other less common material may be appropriate in some older neighborhoods, particularly those with a mix of architectural styles.
- Faced stone, vertical siding, and other non-historic materials should not be used in building new houses.
- Sheds, garages, and other outbuildings can be constructed of vertical siding or other more economical materials.

*Clapboard**Fiber Cement**Brick**Vinyl**Wood Shingle*

9

Additions

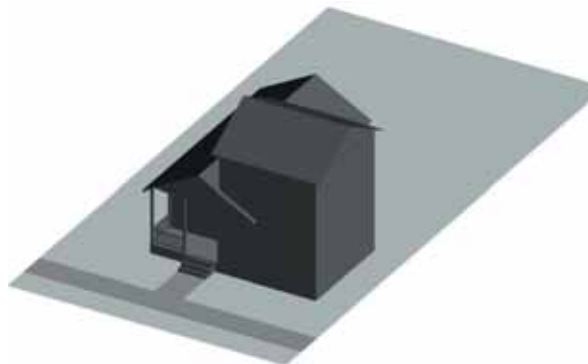
There is great variation in the size of houses in the “Heart of Knoxville” neighborhoods. Owners of smaller houses occasionally want to meet more contemporary needs. Owners of larger historic homes, located in areas zoned for multi-family housing (such as R-2), also may want to expand to accommodate apartments. Such expansions are possible without detracting from the neighborhood’s architecture as long as the following guidelines are followed.



Acceptable



Acceptable



Unacceptable

Infill guidelines

- In making an addition, exterior covering and roof materials, doors and windows should be selected that are like those original to the house.
- If replacement is necessary, new windows and doors should be in keeping with the style and openings of the original design.
- Additions should be made to the rear or side of the house. Taller additions should be made to the rear of the house to keep the original scale of the front façade consistent with other houses along the block.
- The roof line and roofing materials should complement the original house.
- The open appearance of front porches should be maintained; if porches are to be enclosed, glass should be used (without obstructing architectural details) where the open dimensions of the porch had been located.

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Multi-unit housing

Following World War II, many single family neighborhoods were rezoned to permit apartments. This was done under an urban development theory that the highest density housing should be close to the central business district. The results have been mixed. In some instances the design of multi-unit buildings are completely out of context to older neighborhoods with apartment buildings looking like they should have been part of suburbia. In places where multi-unit housing is permitted (such as areas with R-2 or R-3 zoning), it is essential to neighborhood stability that new apartment buildings be designed in scale and context with the early architectural features of the neighborhood.

Infill guidelines

- Multi-unit housing (where permitted by zoning) should have similar front yard space to that of the traditional single family houses along the street.
- In those zoning districts where multi-unit housing is permitted, the height of the new housing should be similar to original houses along the street.
- Multi-unit housing should be designed to continue the architectural rhythm of the block. In addition to the same “build-to line,” porches, bays and breaks in the front façade should be created that mimic the look of older homes when looking down the block. This should be done by dividing the building into separate



sections which are proportionally similar to original houses on the block.

- Parking should be provided behind apartments with access from the alley
- Landscaping, including shade trees, should be planted in both front and back yards.



Picket fences are historically accurate



Chain link fences are not historically accurate



Ample shade trees on Temple Avenue in 1920

11

Landscape and other considerations

In historic neighborhoods around the Heart of Knoxville, street trees were planted to provide shade and cover near the sidewalks in the front yard. Fences were made of available materials and remained low and decorative around the front yard. This tradition is important when considering the overall aesthetic of a historic neighborhood.

Infill guidelines

- One native or naturalized shade tree should be planted in the front and rear yards of infill lots with 25 feet or more in depth to front of house.*
- Fencing and hedges should not exceed 42 inches in height in front yards.
- Chain link fencing should be reserved for the rear yard, no less than 5 feet behind the front facade.
- Front yard fences may use picket, wrought iron, or other historic material only.

* Front yard trees are not necessary along blocks that have planting strips that are more than 6 feet wide.

Applying the Guidelines



The following section illustrates examples for applying the Design Guidelines. If used correctly, the outcome will be more pleasant streetscapes, restored historical integrity, and greater property values.

Below: Mechanicsville Commons represents a well designed infill community.



*Image credit: Urban Design Associates

Appropriate Infill Example 1: A Folk Victorian and Craftsman Block

An infill site between a Craftsman style home and a Folk Victorian style home can afford many opportunities for an original style and design. Developers should be sure to address the generous foundation heights, one and a half story scale, complex roof shapes, and generous front porch allowances that the existing block exhibits.

The adjacent sketch (by Randall DeFord) and photo would be potential “good fits” within this neighborhood context.



Although commendable in style, this infill home would better fit a smaller scaled block than in our example. With a greater foundation height and more complex roof shape, however, this home could potentially complement the character of this block.



Appropriate Infill Example 2: A Minimal Traditional and Ranch Style Block

This block demands many considerations for infill proposals. Here developers should note the modest roof pitches with minimal overhangs, the clap-board, brick or shingle materials, and the small to minimal porches. A desirable rhythm is created on this block by the scale, spacing, and angular orientation of these homes.

The adjacent sketch and photo would be potential “good fits” within this neighborhood context.



With a blank face and integrated porch, this small ranch home would be inappropriate for this block. The windows along the front facade are too few and inappropriately spaced while the porch sinks back into the main mass of the house. Other homes on this block have small stoops that project out into the front yard.



Appropriate Infill Example 3: A Large Mass Block

On a block with larger scale homes, it is imperative to match or complement the size with infill. On this particular block, there is a mix of styles, but foundation heights, setbacks, and masses are all similar.

The adjacent sketch would be a potential “good fit” within this neighborhood context.



Although this home has a 2-story height and adequate foundation height, this house must be much broader and more detailed to fit in a block of other large masses.



Appendix

Style Reference Guide

In order to provide an understanding of Knoxville's common architectural styles, the following overview is presented. The point of this section is that the historical elements of design, such as foundation height, mass of the structure, roof pitch, and details like porches and window styles, are important in selecting a design for a block in the Heart of Knoxville. More contemporary architectural design is not necessarily discouraged but should be undertaken with respect to basic features of the original houses. Examples of do's and don'ts are depicted in other sections of this publication.

The following architectural styles are those prevalent in the Heart of Knoxville and do not represent all the styles that can be found throughout the city.

Please visit the following web site for more inclusive information:

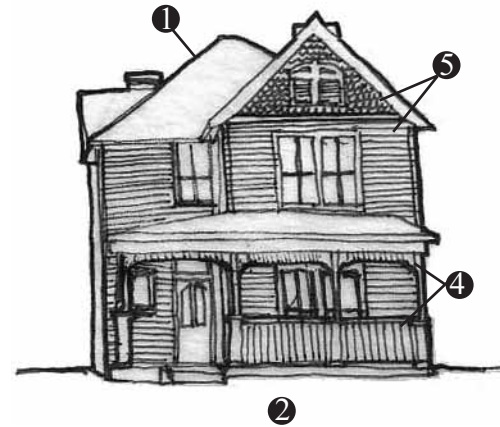
<http://www.knoxmpc.org/historic/edu/styles.htm>

Queen Anne Victorian

The Queen Anne style became part of domestic building from 1880-1900. Although the style has more to do with European building during the Elizabethan or Jacobean eras, the name survives on account of the English architects that popularized the style.

Defined by decorative detailing and complex roof forms, the style also commonly incorporates extensive one-story porches, towers, and various material methods to avoid flat wall surfaces.

The Victorian era styles, such as Queen Ann and East lake, were often constructed in Knoxville neighborhoods that developed in the late 19th and early 20th centuries. Such houses are often found in Park City, Fort Sanders, Old North, Mechanicsville, Lincoln Park, and along older corridors leading out-of-town such as Washington Pike. George Barber, a Knoxville-based architect who was known for his mail order houses, influenced the creation of Knoxville's Victorian era architecture.



- ① steeply pitched and irregular roof, dominant front facing gable
- ② partial or asymmetrical porch, usually one story
- ③ asymmetrical facade
- ④ decorative detailing including spindle work
- ⑤ varied use of textured materials

- ① symmetrical facade, except for gable front and wing
- ② simple folk house form
- ③ wide one-story porches
- ④ decorative spindle work porch detailing
- ⑤ brackets under eaves



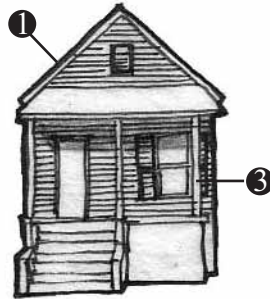
In Knoxville, this style was used in development of many portions of the city. These houses can be considered the "common man's" version of the more detailed Victorian architecture. Some places, like Oakwood, where housing was built for railroad and factory workers, the style was used extensively. In other places, like Five Points and Park City, the style can be seen along several blocks.

Folk Victorian

The Folk Victorian style is defined by the intricate spindle work detailing of the Victorian period on simple folk masses. These houses were popular from 1870-1910 when homeowners of the more affordable folk house forms tried to update their homes to look Victorian.

Typically, Victorian detailing is seen on 5 sub-types of folk forms: front-gabled roof, gable front and wing, one-story side-gabled roof, two-story side-gabled roof, and pyramidal.

- ① front gable roof faces street
- ② long narrow form
- ③ one-story front porch
- ④ one room wide and several rooms long
- ⑤ often have gingerbread styled column brackets



In Knoxville, groups of Shotgun houses are found in neighborhoods that were close to textile mills, railroad operations and other 19th century manufacturing. Being so narrow, they are found on lots roughly half the size of typical lots.

Shotgun

At the turn-of-the-century, this affordable house became popular on long, narrow lots. The term “Shotgun” refers to the idea that if one were to shoot through the front door of the house, a shot would end up in the backyard, unobstructed.

Shotgun homes are always 1 story with a gable roof facing the street. Decorative brackets and ornamentation may be seen on some homes inspired by Victorian influences.

American Foursquare

This style quickly became a favorite among Americans during the early Twentieth Century. Many of the homes were sold in parts and plans from catalogs received by mail. The Foursquare is often called the “Basic” house and is distinguished by its box shape. The house gets its name from the four square rooms on each floor.

Other key distinguishing characteristics of the Foursquare house are the symmetrical shape, little ornamentation, and plain porch columns.

In Knoxville, Foursquare houses are not as common as Craftsman or Folk Victorian styles. They were typically constructed in the early 1900’s. When looking at an infill site next to a Foursquare, the scale of the infill development is a particular concern. A substantial housing unit(s), with an elevated foundation and porch would be in order to complement the nearby Foursquare.



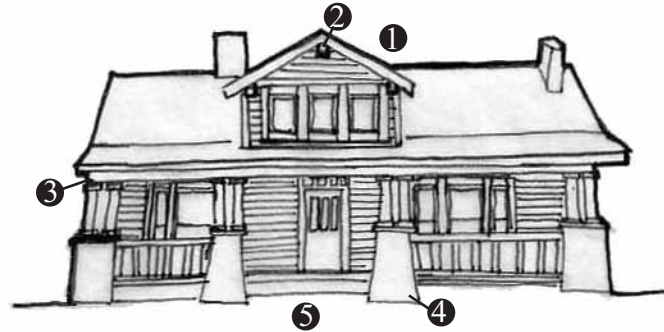
- ① box-shaped
- ② hipped dormer
- ③ hip roof
- ④ plain columns
- ⑤ 1-story front veranda

Craftsman

Originating in California, the Craftsman style was developed in the early 1900's by two brothers strongly influenced by the English Arts and Crafts movement, oriental wooden architecture, and their background in the manual arts. The style spread quickly through pattern books and magazines, but faded at the beginning of the 1920's.

Although the details of the style vary, the main elements - porches, railings, supports, and brackets - are always intricately designed.

Knoxvillians embraced this style enthusiastically. While clapboard-covered houses are most typical, brick Craftsman styles were also built. One and one-half stories are common. Rarer locally are two-story adaptations of the style. Because Craftsman styles included many sizes and design features, such as variations in porches, roof lines and bay windows, they appealed to an array of home buyers, including moderate income to fairly well-to-do families. Almost every neighborhood inside I-640 and the older parts of South Knoxville have scores of Craftsman house.



- ① low-pitched gabled roof, wide unenclosed eave overhang
- ② decorative beams or braces under gables
- ③ exposed rafters
- ④ columns usually taper and continue to ground
- ⑤ full or partial width porches

- ① side-gabled roof, also side-gambrel
- ② little or no rake or overhang
- ③ usually one story
- ④ often have flared eave overhangs

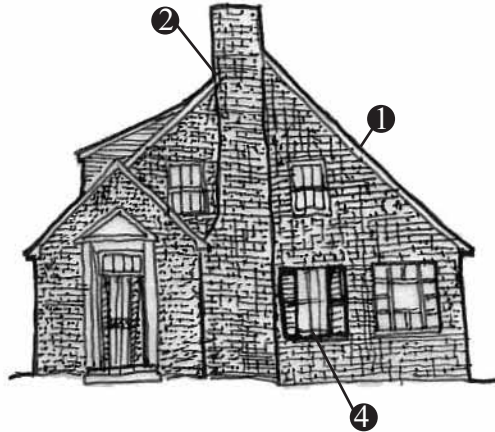


Dutch Colonial Revival

As a result of Dutch immigration in the mid-1620's, parts of the New England states were influenced by the Dutch building tradition. The original Dutch Colonial style faded in the 1840's, but elements of this style are still noted in later period homes.

Most commonly, according to the rural tradition, revival homes exhibit the traditional gambrel roof and eaves that flare outward. The moderate-sized homes are also distinguished by dutch doors, a central entrance, and double-hung windows with small panes of glass.

- ① steeply pitched roofs, usually side-gabled
- ② prominent chimneys
- ③ commonly have decorative half-timbering
- ④ tall, narrow windows with multi-pane glazing



Tudor Revival

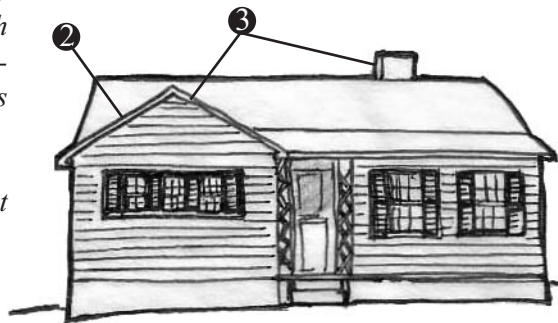
Modeled after late Medieval English prototypes of early 16th Century England, the Tudor style became part of the Eclectic period of American building. Distinguished by steeply-pitched, front-facing gables Tudor homes are particularly expressive in the exterior wall-cladding materials. Six subtypes help identify Tudor homes: stucco wall cladding, brick wall cladding, stone wall cladding, wooden wall cladding, false thatched roof, and parapeted gables. Decorative half-timbering is a common detail along with elaborate chimneys.

These revival styles were often built in the neighborhoods that developed in the 1920's and 1930's as the automobile gained popularity. Such houses can be found in the grid street neighborhoods as those near St. Mary's hospital and Emoriland. They are also found along the curvilinear roads of Knoxville's pre-World War II suburbs.

Minimal Traditional

Following the Depression and World War II, this style became common in the large tract housing developments across the country in the 30's. The style mimicked a Tudor cottage with the absence of steeply sloping roofs and ornate detail. Discriminating features of the style are the close eaves and rakes with a low roof line on a one-story frame.

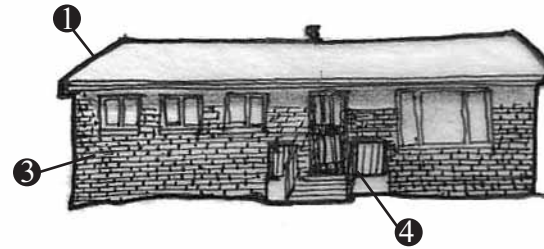
In many cases, the homes still have a large chimney and at least one front-facing gable.



- ① low or moderate pitched roofs
- ② minimal eaves and rake, no overhang
- ③ commonly have large chimney and front facing gable
- ④ absence of decorative detailing

Ranch

In the decades after World War II, an increase in personal automobile use gave way to more generous land area where larger, more sprawling homes could be developed. Ranch homes utilized their lavish lots by facing their longest facade to the street and integrating built-in garages. Their roof lines remained fairly low-pitched and masses relatively simple. The most complex Ranch style houses included a front-facing gable or gabled wing.



- ① low-pitched hipped, side-gabled, or cross gabled roofs
- ② asymmetrical one-story shapes
- ③ commonly wood or brick cladding
- ④ decorative iron or wooden porch supports

The Minimal Traditional and modest ranch styles became widespread in the Knoxville neighborhoods created after World War II. They were occasionally built as infill housing next to Victorian-era and Craftsman-styled houses. In those cases, their low elevation and horizontal orientation did not provide an architectural harmony between the old and new.

For Further Reference::

Harrison, Henry S. *Houses*. Chicago: National Association of Realtors, 1973.

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Knopf, 1984.

COMMENTS FROM A COMMUNITY MEETING ON SEPTEMBER 1, 2005

- Maintain land for existing churches to expand
- Improvement to Sam Hill School area for space for children to play
- Consider expansion of redevelopment area to include Tennessee
- Consideration of local businesses being "supported" and promoted for commercial area
- Suggest culverts where drainage ditches now exist to control water run off and improve safety
- Look at flood control issues – Ohio, Thomas, Adcock (drains put in but problem is worse), Sherman, Gap Road, McPhearson, Savoy
- Concern about creating a parking lot near proposed new commercial strip
- Question about road exits out of Lonsdale Homes
- Substation for payment – KUB telephone in commercial center – centralize commercial to eliminate driving from one store to another
- Does concept include remodeling or removal of existing house in area proposed for commercial center?
- Suggest individual "store" concept rather than one building
- Suggest greenway at Sherman and Texas
- Concern: process for acquiring property – land acquisition policy
- Will property owners have opportunity to upgrade their property?
- Will funds be available to assist property owners with upgrade?
- Commercial property suggested businesses – dry cleaner, relocate existing business to new commercial
- Proposed location of commercial – Texas between Sherman and Stonewall
- Concern that no industrial use be allowed
- Suggest designing means to curtail truck traffic on Texas

- Concern – safety in the area – KPD patrol of proposed commercial area
- Demo old church on edge of Lonsdale Homes
- Will variances be required to build on soft lot?
- Opportunities/financial assistance to improve existing businesses
- What is proposed for area around Ohio–Stonewall?
- Will there be opportunity for developers to come in and build what residents suggest that is included in redevelopment plan?
- Suggest walk-in clinic
- Can public come to meetings of groups that approve plan? (KCDC, MPC, City Council, etc.)